



Norwood Young America Planning Commission
6:00 p.m., Tuesday, September 6, 2022
Norwood Young America City Council Chambers, 310 Elm St. W.

AGENDA

1. Call to Order
Pledge of Allegiance
2. Adoption of Agenda
3. Approve Minutes of August 2, 2022, meeting
4. Introductions, Presentations, and Public Comment
(Citizens may address the Planning Commission about any non-agenda item of concern. Speakers must state their name, address, and limit their remarks to three minutes. The Planning Commission will take no official action on these items but may refer the matter to staff for a future report or direct that the matter be scheduled for a future meeting.)
5. Public Hearing
 - A. Ordinance 356 – Ground Mounted Solar Systems
 - B. YMI Properties Accessory Building Size and Height Variance
6. Business
7. Miscellaneous
 - A. August Building Permit Report
8. Commissioner’s Reports
9. Adjourn

UPCOMING MEETINGS

September 9, 2022	NYA Food Distribution	2:00 PM to 3:30 PM
September 12, 2022	City Council Meeting	6:00 PM
September 14, 2022	Economic Development Commission Meeting	6:00 PM
September 15, 2022	Senior Advisory Meeting	9:00 AM
September 20, 2022	Park and Recreation Commission Meeting	4:45 PM
September 26, 2022	Workshop/EDA/City Council Meeting	5:00 PM/6:00 PM
October 4, 2022	Planning Commission Meeting	6:00 PM

Jerry Barr

Mike Eggers

Bill Grundahl

Paul Hallquist

Bob Smith

Craig Heher
Council
Liaison

*Norwood Young America
Planning Commission Minutes
August 2, 2022*

Present: Commissioners Craig Heher, Jerry Barr, Paul Hallquist, Bill Grundahl, Mike Eggers

Absent: Bob Smith

Staff: Karen Hallquist – Economic Development and Marketing Director, Jared Johnson – Consulting Planner (WSB)

Public: Doug Pritchard and Laura Zimmerman (Carver Canine), Andy Fett and Edie Sebesta (U+B Architecture and Design)

1. Call to Order.

The meeting was called to order by Chair Heher at 6:00 pm. All those present stood for the Pledge of Allegiance.

2. Adoption of Agenda.

Motion: ME/JB to approve agenda as written. Motion passed 6-0.

3. Approve Minutes of July 5, 2022, meeting

Motion: BG/PH to approve the minutes as presented. Motion passed 6-0.

4. Introductions, Presentations, and Public Comment – none

5. Public Hearing

A. Ordinance Amendment No. 355 Kennel Conditional Use Permit Provisions

Heher opened the public hearing at 6:04pm. City Planner Johnson presented details on Carver Canines request to amend the City Code pertaining to specific conditional use permit requirements for kennel operations in the City. Johnson explained the two conditions requested to be removed: “c”- The site must be located on a collector street, and “d” -Structures associated with the kennel operation must be at least 200 feet from a wetland area. Carver Canines is looking at constructing a kennel operation at 630 Railroad Drive as it’s one of the few sites perfect for their type of business. The two conditions would make the site unbuildable. Johnson stated the applicant believes the two conditions are too restrictive and City staff agreed. Johnson confirmed the following:

- Site plans must go to Carver County WMO for approval, they can look at possible wetland impacts.
- Kennel operations and any other animal care are intended to be zoned commercial and most commercial areas in the City do not abut a collector street.
- Ordinance amendments should only be considered when it benefits the City as a whole and not a specific business. The proposed ordinance amendment would open up more areas for similar businesses to pursue and is viewed as a public benefit.

Several commissioners asked about the reasoning for the conditions in the first place. Staff did not know why these specific conditions were put in code. Johnson stated the wetland condition is probably to address dog waste runoff but the City can attach conditions to a conditional use permit that requires a waste removal plan be submitted.

Motion: ME/BG to close the public hearing at 6:12pm. Motion passed 6-0.

Motion: ME/PH to recommend the City Council approve Ordinance Amendment No. 355 Kennel Conditional Use Permit Provisions to remove conditions “c” and “d”. Motion passed 6-0.

- 6. Business
 - A. Update on Draft Ordinance 346 Accessory Ground Mounted Solar Systems

Johnson explained the City Council would like to allow accessory ground mounted solar systems in both the side and rear yards, not just the rear. There will be a public hearing for the ordinance at the September Planning Commission meeting. Eggers asked if end of life language was included in the final ordinance and Johnson confirmed there will be.

- 7. Miscellaneous
 - A. July Building Permit Report

Commissioners reviewed the July Building Permit Report and had no comments.

- 8. Commissioners Reports

Heher gave an update on City Council items.

- 9. Adjourn

Motion: BG/JB to adjourn at 6:30pm. Motion passed 6-0.

Respectfully Submitted,

Karen Hallquist, Economic Development and Marketing Director



TO: NYA Planning Commission

FROM: Jared Johnson, Planning Consultant - WSB

DATE: September 6, 2022

SUBJECT: Public Hearing: Draft Ordinance 356 Accessory Ground Mounted Solar Systems Discussion

Background

At the July 25, 2022 City Council meeting, staff presented two draft accessory ground mounted solar ordinances. One of the draft ordinances allowed ground mounted solar systems in both the interior side and rear yard and the other draft allowed them only in the rear yard. The City Council determined to allow them in both the side and rear yard as long as there is appropriate screening of the ground mounted solar system in the side yard from the public right-of-way. Staff has drafted a final ordinance based off feedback from multiple Planning Commission and City Council meetings.

Key revisions to the draft ordinance that have been made following discussion from previous meetings include:

- Systems are only allowed in the I-1 Light Industrial District.
- Systems shall not exceed 15 feet in height.
- Systems are only allowed in the interior side or rear yard.
- Systems must be screened from rights-of-way by a landscaped buffer. A fence is required when abutting a commercial or industrial use. Screening will be reviewed administratively.
- The owner must submit a decommissioning plan to ensure all equipment and facilities are removed and vegetation is restored once the system reaches the end of its useful life.

Action

After holding the public hearing, staff is recommending the Planning Commission make a motion to recommend the City Council approve Ordinance Number 356 amending Section 1245.10 to allow Accessory Ground Mounted Solar Systems in the I-1 Light Industrial District.

Attachments

Ordinance No. 356

**CITY OF NORWOOD YOUNG
AMERICA ORDINANCE NO. 356**

AN ORDINANCE AMENDNG SECTION 1245.10 OF THE CITY CODE RELATING TO ENERGY SYSTEMS TO PROVIDE FOR ACCESSORY GROUND MOUNTED SOLAR SYSTEMS IN THE I-1 LIGHT INDUSTRIAL DISTRICT.

I. THE CITY COUNCIL OF THE CITY OF NORWOOD YOUNG AMERICA, MINNESOTA TO PROMOTE THE PUBLIC SAFETY, HEALTH, AND WELFARE, HEREBY ORDAINS SECTION 1245.10, SUBD 4(A), RELATING TO PROHIBITED SOLAR ENERGY SYSTEMS SHALL BE AMENDED AS FOLLOWS:

Subd. 4 Prohibited Solar Energy Systems. The following solar energy systems are prohibited:

- A. Ground mounted solar energy systems, except for accessory ground mounted solar in the I-1 Light Industrial District, subject to Subd. 7 of this Section, as may be amended.

II. BE IT FURTHER ORDAINED SECTION 1245.10 SHALL BE AMENDED BY ADDING SUBD. 7 AS FOLLOWS:

Subd. 7 Ground Mounted Solar System As Accessory Uses. Ground mounted accessory solar systems are allowed as accessory uses in the I-1 Light Industrial District provided:

- A. A maximum of one (1) solar energy system is allowed per lot.
- B. Ground mounted solar energy system components:
1. Shall not exceed 15 feet in height.
 2. Shall only be allowed in the interior side or rear yard.
 3. Shall meet accessory structure setbacks contained in the applicable zoning district.
- C. When abutting a property used for residential purposes or views from any right-of-way (including views from the front yard), a landscaped buffer sufficient to screen the use from the adjacent residence or right-of-way at all times of the year shall be provided. When abutting a commercial or industrial use a fence is required.
- D. Glare from solar energy systems to adjacent or nearby properties shall be minimized. In the event there is a dispute regarding glare, the City may require the owner of the solar energy system produce a glare study.
- E. Solar energy system annual power output (kWh) shall be no more than one hundred twenty (120) percent of the total energy used by the lot or parcel over the previous year. The City, at its discretion, may allow an array designed to produce more than

120% of the energy used provided an interim use permit is issued.

- F. A building permit is required.
- G. An electrical permit is required.
- H. The City requires the owner or operator to submit a decommissioning plan to ensure that the owner or operator properly removes the equipment and facilities upon the end of project life or after their useful life. The owner or operator shall decommission the solar panels in the event they are not in use for 12 consecutive months. The plan shall include provisions for the removal of all structures and foundations, the removal of all electrical transmission components, the restoration of soil and vegetation and a soundly-based plan ensuring financial resources will be available to fully decommission the site. The disposal of structures and/or foundations shall meet all applicable federal, state and local requirements. The City may require the owner or operator to provide a current-day decommissioning cost estimate and shall post a bond, letter of credit or establish an escrow account, including an inflationary escalator, in an amount determined by the City Council, to ensure proper decommissioning.

III. EFFECTIVE DATE: THIS ORDINANCE IS EFFECTIVE UPON ITS ADOPTION AND PUBLICATION AS PRESCRIBED BY LAW.

Adopted by the City of Norwood Young America on the 26th day of September 2022.

Attest:

Carol Lagergren, Mayor

Angela Brumbaugh, City Clerk

Adopted:

Published:



TO: NYA Planning Commission

FROM: Jared Johnson, Planning Consultant - WSB

DATE: September 6, 2022

SUBJECT: Public Hearing: YMI Properties Accessory Building Size and Height Variances (415 Tacoma Circle)

REQUEST

YMI Properties (Yeager Machines) have submitted a variance application and site plans for a proposed accessory building at 415 Tacoma Circle. The proposed accessory building needs two variances. A variance from City Code Section 1245.04 Subd. 2 which requires accessory buildings on industrial properties to not exceed 30% of the gross floor area of the principal use/building. The principal building, which is used for manufacturing, is 20,786 square-feet. This means an accessory building cannot be larger than 6,235 square-feet. The proposed accessory building is 7,200 square-feet which is 34.6% the size of the principal building. The additional 965 square-feet of space requires a 4.6% variance. The proposed accessory building will be used for storage/warehousing for the principal building.

The second variance is from City Code Section 1230.12 Subd. 5 which states accessory building height cannot exceed two-thirds the height of the principal building. The principal building is 21 feet, and the proposed accessory building is 20.67 feet. Two-thirds the height of the principal building would be 13.86 feet. A 6.81 feet height variance is needed for the accessory building.

BACKGROUND

Recently, YMI Properties was approved by Carver County to combine their lot with the adjacent lot they owned to the southeast. They requested a lot combination to expand their existing parking footprint. The lot combination also required a vacation of a drainage and utility easement which the City Council approved on May 23, 2022. Since they now have a larger lot, YMI Properties would like to build an accessory building on the other side of the expanded parking lot to use for indoor storage needs as the business is growing. As stated above, the size and height of the proposed accessory building exceeds the maximums allowed under City Code, therefore requiring two variances.

Norwood Young America

REVIEW

Zoning

The property is zoned 1-1 Light Industrial District. The proposed indoor storage/warehouse accessory building is a permitted accessory use to the principal use.

Comprehensive Plan

The 2040 Comprehensive Plan designates the future land use for the subject parcel as Industrial. The planned accessory building and use is consistent with the future land use designation.

Lot Standards

<u>Accessory Structure Standards</u>	<u>I-1 Requirement</u>	<u>Proposed</u>
<u>Front Yard Setback</u>	Not permitted in front yard	88.5 FT from Tacoma Circle
<u>Side Yard Setbacks</u>	10 FT (interior)	14.82 FT
<u>Rear Yard Setbacks</u>	10 FT	124 FT
<u>Lot Coverage</u>	80%	25%
<u>Building SF</u>	30% max. of principal structure SF (6,235 SF)	34.6% (7,200 SF) (variance)
<u>Height</u>	2/3 of the principal structure (13.86 FT)	20.67 FT (variance)

The proposed accessory building meets required setbacks and lot coverage requirements. The accessory building square footage and height need variances.

Parking

Only one parking space is required for the accessory building. Plans show 15 proposed stalls with 9 existing stalls. 24 parking spaces will be provided which meets code requirements. The proposed parking area to the west of the building will be made of Class V aggregate. Class V is allowed in the side and rear yards in the Industrial district. Staff recommends paving this area with bituminous pavement but is not required per code.

Architectural Design

The proposed accessory building will be post frame construction with a pitched roof. While the City would like to see better quality materials used, staff understands the current supply chain issues and the business needs to expand quickly. Nearby properties have been approved for post frame construction to be used as warehousing/storage.

Landscaping

No landscaping plan was submitted. City Code Section 1255.04 requires new non-residential uses to plant one tree per 1,000 SF of gross floor area. The proposed building is 7,200 SF which

Norwood Young America

requires seven trees. Landscaped berms with shrub plantings are also required. As a condition of approval, staff is recommending that the applicant must submit a landscaping plan at the time of applying for a building permit. The landscape plan must show the placement of seven trees on the perimeter of the accessory building and/or parking lot. A landscaped area on the north side of the building facing Tacoma Circle will also be required to aid in aesthetics of the building from the right-of-way.

VARIANCE REVIEW

Consideration of variances from City Code are outlined in Section 1210.04:

“The City Council may grant variances from the literal provisions of this Ordinance where their strict enforcement would cause practical difficulties because of circumstances unique to the individual property under consideration, and to grant such variances only when it is demonstrated that such actions will be in harmony with the general purpose and intent of this Ordinance, and consistent with the comprehensive plan.”

The applicant provided a narrative for their variance request for the size of the accessory building. The narrative states the company employees 20 residents and is growing and requires additional warehousing space to keep up with storage needs. The additional warehouse space is a reasonable use of the property and will be subordinate to the use and in size of the principal building. The narrative further explains that Yeager Machine’s preference would have been to construct an addition to the principal building but due to the irregular shape of the lot and orientation of the existing building it would require major modifications to current operations. The narrative also states the accessory building will also be consistent in size, scale, and design of the whole Industrial development area. Post frame buildings have been approved on a neighboring property (Greenwood Marina) and will not look out of place. Unrelated to the size of the building, the post-frame building is necessary due to supply chain delays of concrete and steel of up to 30 months. The post frame construction allows the growing needs of the business to be met quickly. Overall, the requested variances will allow a larger warehouse building that’s needed to keep up with business demands.

No narrative was submitted for the height variance due to timing constraints. The height of the principal building is 21 feet, which is roughly half the height of what is allowed in the Industrial district (40 feet). This greatly reduces the height of accessory buildings as they are only allowed to be two-thirds the height of the principal building (13.86 feet). The warehousing needed requires a taller building with a bigger footprint. Taller accessory buildings exceeding height requirements have approved in the vicinity. This variance request would be no exception.

General Criteria for Approval of Variances

The Planning Commission and City Council is required to examine the request under a series of general standards as set for variances under Section 1210.04 Subd. 1(A&B).

- A. Practical Difficulties. Practical difficulties as used in connection with the granting of a variance means that:
 - 1. *the property owner proposed to use the property in a reasonable manner not permitted by the zoning ordinance. **The proposed accessory building for***

warehousing storage needs on the property will be used in a reasonable matter.
Criterion met.

2. *the plight of the landowner is due to circumstances unique to the property not created by the landowner. The irregular shape of the lot and the existing structure make it unfeasible to add onto the existing building. Criterion met.*
3. *the variance, if granted, will not alter the essential character of the locality. Practical difficulty also includes, but is not limited to, inadequate access to direct sunlight for solar energy systems. The variances will not alter the essential character of the Industrial district as there are similar buildings in the area. Criterion met.*

B. Economic Considerations. *Economic considerations alone shall not constitute a practical difficulty. Economic considerations are not the only practical difficulty. The irregular shape of the lot and the existing structure make the accessory building necessary. Criterion met.*

ACTION

After holding the public hearing, staff recommends the Planning Commission make a motion to recommend the City Council approve both requested variances. A 4.6% variance to allow the accessory building to be 34.6% the size of the principal building and a 6.81-foot variance to allow the accessory building to have a height of 20.67 feet for YMI Properties at 415 Tacoma Circle with the following four (4) conditions:

1. All necessary permits shall be obtained before construction of the accessory building commences.
2. All comments and conditions in the City Engineers memo dated August 15, 2022 shall be met prior to construction.
3. A landscaping plan shall be submitted at time the building permit is applied for. The landscaping plan must show placement of seven (7) trees along the perimeter of the accessory building and/or parking lot. Landscaping on the north side of the accessory building shall also be provided.
4. Approval from Carver County Watershed Management Organization.

Attachments:

- Site Plans and Building Elevation
- Variance Narrative
- City Engineer Memo dated 8/15/2022



Real People. Real Solutions.

2638 Shadow Lane
Suite 200
Chaska, MN 55318-1172

Ph: (952) 448-8838
Fax: (952) 448-8805
Bolton-Menk.com

August 15, 2022

City of Norwood Young America
Attn: Jared Johnson
310 W. Elm St.
P.O. Box 59
Norwood Young America, MN 55368

**RE: Yeager Machine Parking Lot Expansion
Revised Plan Review
Project No.: 0C1.127800**

Dear Mr. Johnson:

We have completed an engineering review of the submitted information for the above referenced project. Our review is based on revised plans bearing the general title "Yeager Machine", dated July 13, 2022, prepared by Design Tree. We offer the following comments and recommendations for your consideration:

General:

- 1) The revised plan includes a change to the parking lot expansion layout and the inclusion of an additional building.
- 2) Our review assumes all improvements proposed will be privately owned and maintained.
- 3) The plans should be submitted to CCWMO for review and comment.
- 4) Storm water ponding and treatment was provided as part of the original industrial park project, however, CCWMO may have additional water quality requirements that need to be met based on rule changes. It appears the proposed hard surface coverage meets the original design parameters.
- 5) A valley gutter shall be installed along the cul-de-sac curb radius through the driveway opening to maintain existing gutter flow.

City of Norwood Young America
Yeager Machine Parking Lot Expansion
August 15, 2022

- 6) The plans propose aggregate surfaced parking at the proposed building. It is recommended bituminous surfacing be used to minimize sediment from run off entering the stormwater pond.
- 7) It is recommended erosion prevention measure be installed at the end of the bituminous swale in the parking lot, to prevent wash out of turf at the curb outfall.
- 8) It is recommended erosion control blanket be used along the parking lot and proposed drainage swale to prevent washout from parking lot drainage until the turf is established.

The plans appear to be acceptable from an engineering perspective contingent upon the comments addressed herein. We are available to discuss this matter at your convenience.

Sincerely,

Bolton & Menk, Inc.



John K. Swanson

Cc: Karen Hallquist
Jake Saulsbury



Larkin Hoffman
8300 Norman Center Drive
Suite 1000
Minneapolis, MN 55437-1060

General: 952-835-3800
Fax: 952-896-3333
Web: www.larkinhoffman.com

August 18, 2022

City of Norwood Young America
Planning and Zoning
Attention: Jared Johnson, WSB
310 Elm Street West
P.O. Box 59
Norwood Young America, MN 55368

VIA EMAIL and U.S. MAIL
JaredJohnson@wsbeng.com

Re: Yeager Machine – 415 Tacoma Circle Variance Request

Dear Mr. Johnson:

We represent Yeager Machine and YMI Properties, LLC (collectively, “Yeager Machine”), the owner of 415 Tacoma Circle (“Property”) in the city of Norwood Young America (“City”). Yeager Machine is seeking a variance to allow for the construction of a detached warehouse on the newly acquired lot, southeast of the existing facility (“Facility”) and parking lot. Due to the size of the existing Facility and the proposed warehouse (“Warehouse”), the expansion will require a variance to increase the size of an accessory structure in excess of 30% of the principal use. Please accept this letter and the accompanying materials as narrative and application for the variance.

Yeager Machine is a precision manufacturing and machining facility and employees 20 residents of the City and surrounding area. The company is growing and requires additional warehousing space to keep up with storage needs. In anticipation of the proposed expansion, the company recently acquired lot 6 from the City’s EDA. Yeager Machine is proposing to construct a 7,200 square-foot accessory post-frame warehouse (“Warehouse”) for indoor storage of materials and equipment necessary for the operation of the Facility. The principal Facility is approximately 20,786 square feet. Accordingly, we are seeking a variance to increase the size of the Warehouse by approximately 975 square feet.

The requested variance meets the following required findings under City code and state law:

A. *Practical Difficulties. Practical difficulties as used in connection with the granting of a variance means that:*

- 1. *the property owner proposed to use the property in a reasonable manner not permitted by the zoning ordinance.*

The proposed Warehouse is a reasonable and appropriate use of the Property, which is zoned I-1 Light Industrial District. The purpose of the I-1, Light Industrial District, is to create industrial

areas within the City that will be acceptable and will not adversely affect adjacent business or residential neighborhoods. The overall character of the I-1 District is intended to have low-impact manufacturing/warehouse character. City Code Sec. 1230.12. The proposed Warehouse is ancillary and subordinate in size to the primary Facility and is consistent with the intent and character of the I-1 District and will support the existing manufacturing Facility on the site. The proposed Warehouse is a reasonable use of the Property and would not otherwise be allowed without the variance.

2. the plight of the landowner is due to circumstances unique to the property not created by the landowner, and

The circumstances the necessitate the variance request are unique to the Property and not created by the landowner. Yeager Machine’s preference would be to construct a building addition to the main Facility that would accommodate the warehousing and storage needs. However, the original parcel upon which the Facility is built is irregularly shaped and located on a cul-de-sac. The lot shape and access required the orientation of existing building, loading dock, and parking area preclude an addition to the building without a redesign and major modification to the current operations. The location of the Proposed warehouse will allow for the expanded operation and capacity of the Facility without requiring the redesign and structural changes to the existing building.

3. the variance, if granted, will not alter the essential character of the locality. Practical difficulty also includes, but is not limited to, inadequate access to direct sunlight for solar energy systems.

The variance will not alter the essential character of the locality. The Warehouse will be consistent in size, scale, and design of the development in the vicinity. The existing development area consists of tip-up concrete, structural steel, agricultural buildings, and post-frame buildings. The City also recently approved several post-frame buildings to be constructed on the adjacent property for storage of boats and recreational equipment, which is consistent with the proposed Warehouse design and scale.


B. Economic Considerations. Economic considerations alone shall not constitute a practical difficulty

The request for increased accessory Warehouse capacity is not based on economic considerations alone, but rather several factors that necessitate the variance. In addition to the unique constraints of the irregular lot shape and building orientation, there are several factors within the market that necessitate the design and size of the building. Supply chain issues have resulted in delays of 18-30 months for structural steel and concrete, and the proposed post-frame building can be readily constructed in a timely manner to accommodate Yeager Machine’s needs. These considerations are not economic alone and not created by the applicant.

Based on the above findings, the existing site and proposed Warehouse necessitate and warrant he issuance of the requested variance.

Please contact me with any questions about this letter or the information contained herein.

Sincerely,



Jacob W. Steen, for
Larkin Hoffman

Direct Dial: 952-896-3239

Direct Fax: 952-842-1738

Email: jsteen@larkinhoffman.com

Enclosures

cc: Mike Yeager

EXHIBIT A

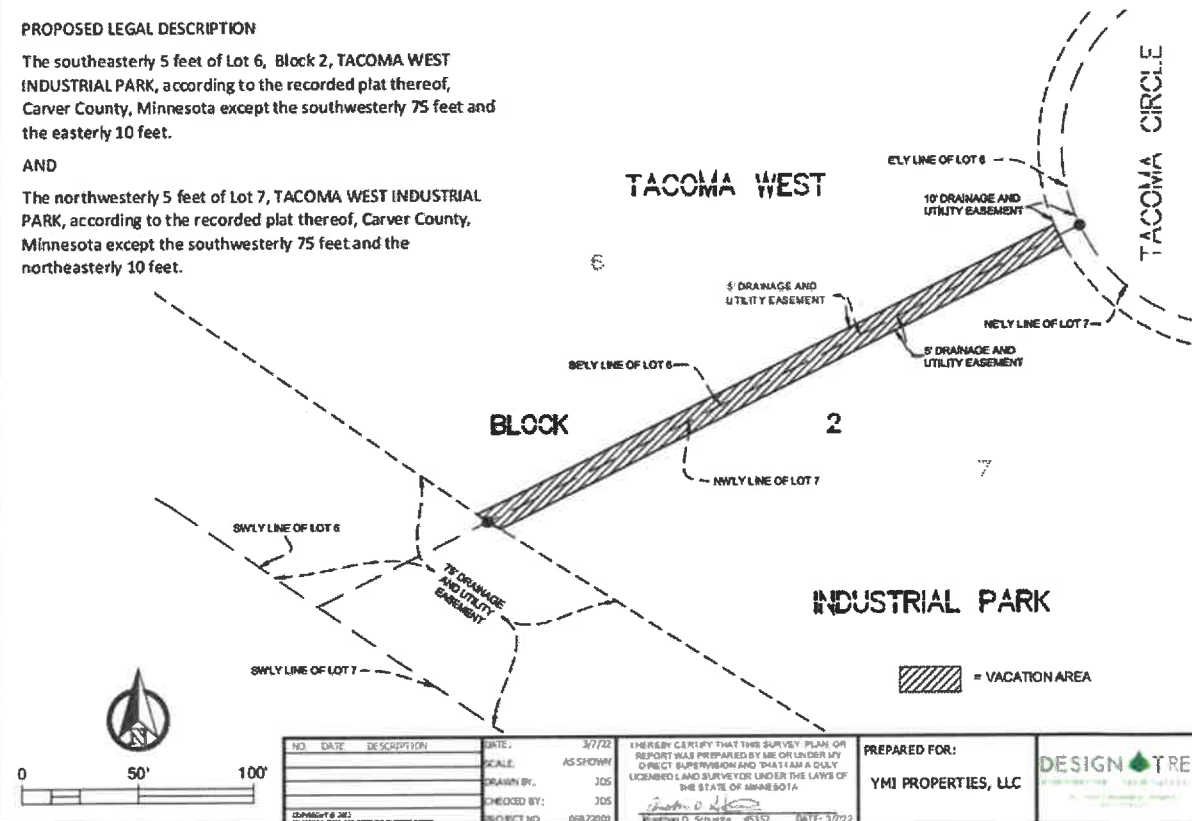
VACATION EXHIBIT

PROPOSED LEGAL DESCRIPTION

The southeasterly 5 feet of Lot 6, Block 2, TACOMA WEST INDUSTRIAL PARK, according to the recorded plat thereof, Carver County, Minnesota except the southwesterly 75 feet and the easterly 10 feet.

AND

The northwesterly 5 feet of Lot 7, TACOMA WEST INDUSTRIAL PARK, according to the recorded plat thereof, Carver County, Minnesota except the southwesterly 75 feet and the northeasterly 10 feet.



YEAGER MACHINE

415 TACOMA CIRCLE
NORWOOD YOUNG AMERICA, 55368



DESIGN TREE
engineering + land surveying
St. Cloud | Alexandria | Rogers
820-212-5537

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME: JEREMY E. ANDERSON
DATE: 07-13-2022 LICENSE #: 44223

YEAGER MACHINE

415 TACOMA CIRCLE
NORWOOD YOUNG
AMERICA MN, 55368

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DRAWN BY: NPK

CHECKED BY: JEA

PROJECT NO.: 06822001

NO.	DATE	DESCRIPTION
1	07/13/22	REVISED SITE PLAN-BUILDING

COVER SHEET

DRAWING NO.

C001

INDEX OF SHEETS:

C001	COVER SHEET
C101	EXISTING CONDITIONS & REMOVALS
C201	SITE & GRADING PLAN
C301	EROSION CONTROL PLAN
C401	CIVIL & EC DETAILS

GENERAL NOTES:

- TOPOGRAPHIC SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, TOPOGRAPHY WITH SPOT ELEVATIONS AND PHYSICAL FEATURES WAS PROVIDED BY:

DESIGN TREE ENGINEERING & LAND SURVEYING
120 17TH AVE W
ALEXANDRIA, MN 56308
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THIS PROJECT

PROJECT CONTACTS

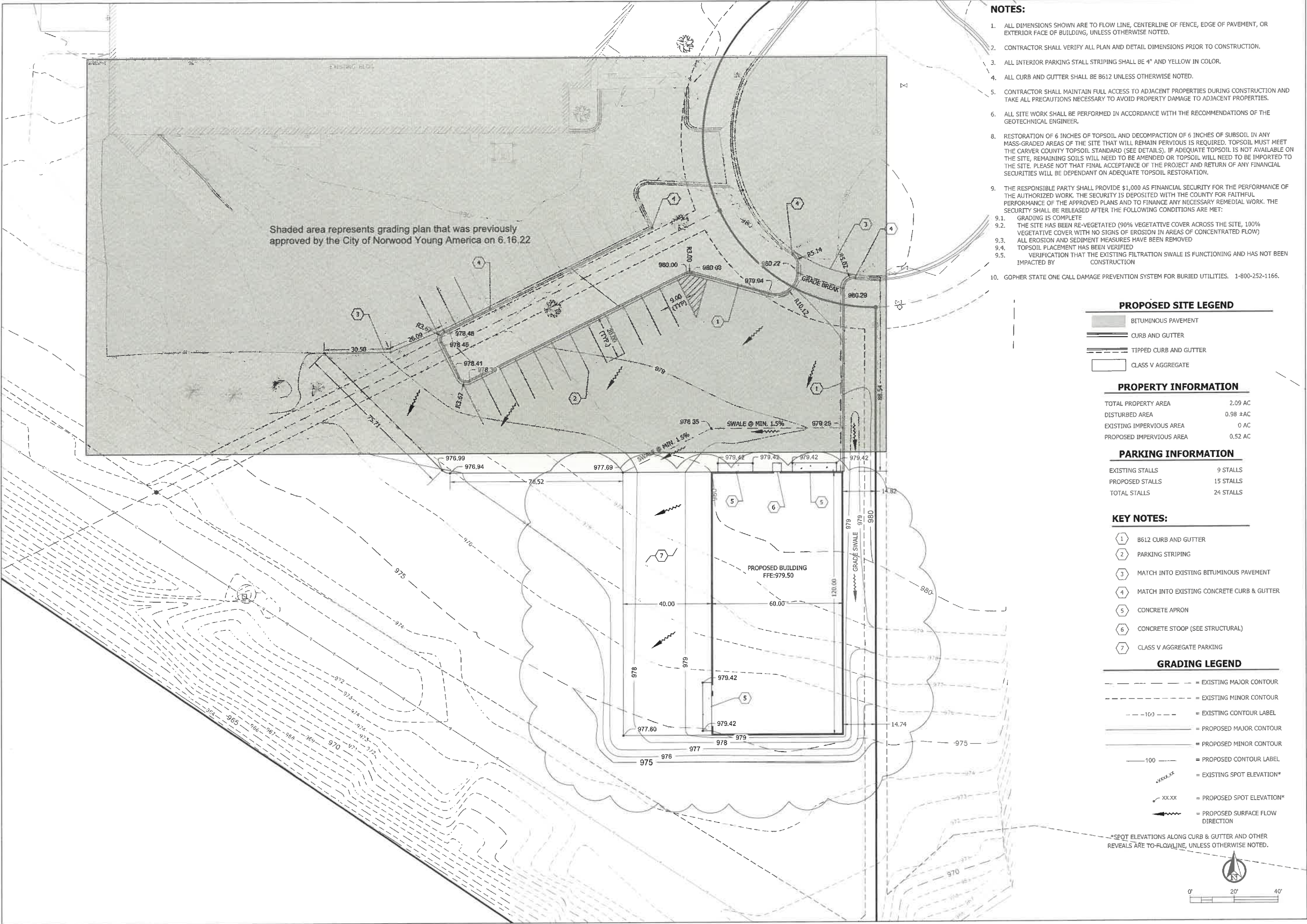
OWNER
YEAGER MACHINE
415 TACOMA CIRCLE
NORWOOD YOUNG AMERICA,
MN, 55368
TEL:952-467-2800

CIVIL ENGINEER
DESIGN TREE ENGINEERING AND
LAND SURVEYING
JEREMY E. ANDERSON
120 17TH AVENUE WEST
ALEXANDRIA, MN 56308
TEL:320-762-1290 EXT. 104
EMAIL:jea@dte-ls.com

BENCHMARK INFORMATION:

TOP NUT OF HYDRANT LOCATED APPROXIMATELY 12' SOUTH OF CUL-DE-SAC.
ELEV=983.63





- NOTES:**
- ALL DIMENSIONS SHOWN ARE TO FLOW LINE, CENTERLINE OF FENCE, EDGE OF PAVEMENT, OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY ALL PLAN AND DETAIL DIMENSIONS PRIOR TO CONSTRUCTION.
 - ALL INTERIOR PARKING STALL STRIPING SHALL BE 4" AND YELLOW IN COLOR.
 - ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
 - ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
 - RESTORATION OF 6 INCHES OF TOPSOIL AND DECOMPACTION OF 6 INCHES OF SUBSOIL IN ANY MASS-GRADED AREAS OF THE SITE THAT WILL REMAIN PVIOUS IS REQUIRED. TOPSOIL MUST MEET THE CARVER COUNTY TOPSOIL STANDARD (SEE DETAILS). IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON THE SITE, REMAINING SOILS WILL NEED TO BE AMENDED OR TOPSOIL WILL NEED TO BE IMPORTED TO THE SITE. PLEASE NOTE THAT FINAL ACCEPTANCE OF THE PROJECT AND RETURN OF ANY FINANCIAL SECURITIES WILL BE DEPENDANT ON ADEQUATE TOPSOIL RESTORATION.
 - THE RESPONSIBLE PARTY SHALL PROVIDE \$1,000 AS FINANCIAL SECURITY FOR THE PERFORMANCE OF THE AUTHORIZED WORK. THE SECURITY IS DEPOSITED WITH THE COUNTY FOR FAITHFUL PERFORMANCE OF THE APPROVED PLANS AND TO FINANCE ANY NECESSARY REMEDIAL WORK. THE SECURITY SHALL BE RELEASED AFTER THE FOLLOWING CONDITIONS ARE MET:
 - GRADING IS COMPLETE
 - THE SITE HAS BEEN RE-VEGETATED (90% VEGETATIVE COVER ACROSS THE SITE, 100% VEGETATIVE COVER WITH NO SIGNS OF EROSION IN AREAS OF CONCENTRATED FLOW)
 - ALL EROSION AND SEDIMENT MEASURES HAVE BEEN REMOVED
 - TOPSOIL PLACEMENT HAS BEEN VERIFIED
 - VERIFICATION THAT THE EXISTING FILTRATION SWALE IS FUNCTIONING AND HAS NOT BEEN IMPACTED BY CONSTRUCTION
 - GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166.

PROPOSED SITE LEGEND

	BITUMINOUS PAVEMENT
	CURB AND GUTTER
	TIPPED CURB AND GUTTER
	CLASS V AGGREGATE

PROPERTY INFORMATION

TOTAL PROPERTY AREA	2.09 AC
DISTURBED AREA	0.98 ±AC
EXISTING IMPERVIOUS AREA	0 AC
PROPOSED IMPERVIOUS AREA	0.52 AC

PARKING INFORMATION

EXISTING STALLS	9 STALLS
PROPOSED STALLS	15 STALLS
TOTAL STALLS	24 STALLS

- KEY NOTES:**
- B612 CURB AND GUTTER
 - PARKING STRIPING
 - MATCH INTO EXISTING BITUMINOUS PAVEMENT
 - MATCH INTO EXISTING CONCRETE CURB & GUTTER
 - CONCRETE APRON
 - CONCRETE STOOP (SEE STRUCTURAL)
 - CLASS V AGGREGATE PARKING

GRADING LEGEND

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING CONTOUR LABEL
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED CONTOUR LABEL
	EXISTING SPOT ELEVATION*
	PROPOSED SPOT ELEVATION*
	PROPOSED SURFACE FLOW DIRECTION

*SPOT ELEVATIONS ALONG CURB & GUTTER AND OTHER REVEALS ARE TO-FLOWLINE, UNLESS OTHERWISE NOTED.

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PRINTED NAME: JEREMY E. ANDERSON
DATE: 07-13-2022 LICENSE #: 44223

YEAGER MACHINE

415 TACOMA CIRCLE
NORWOOD YOUNG
AMERICA MN, 55368

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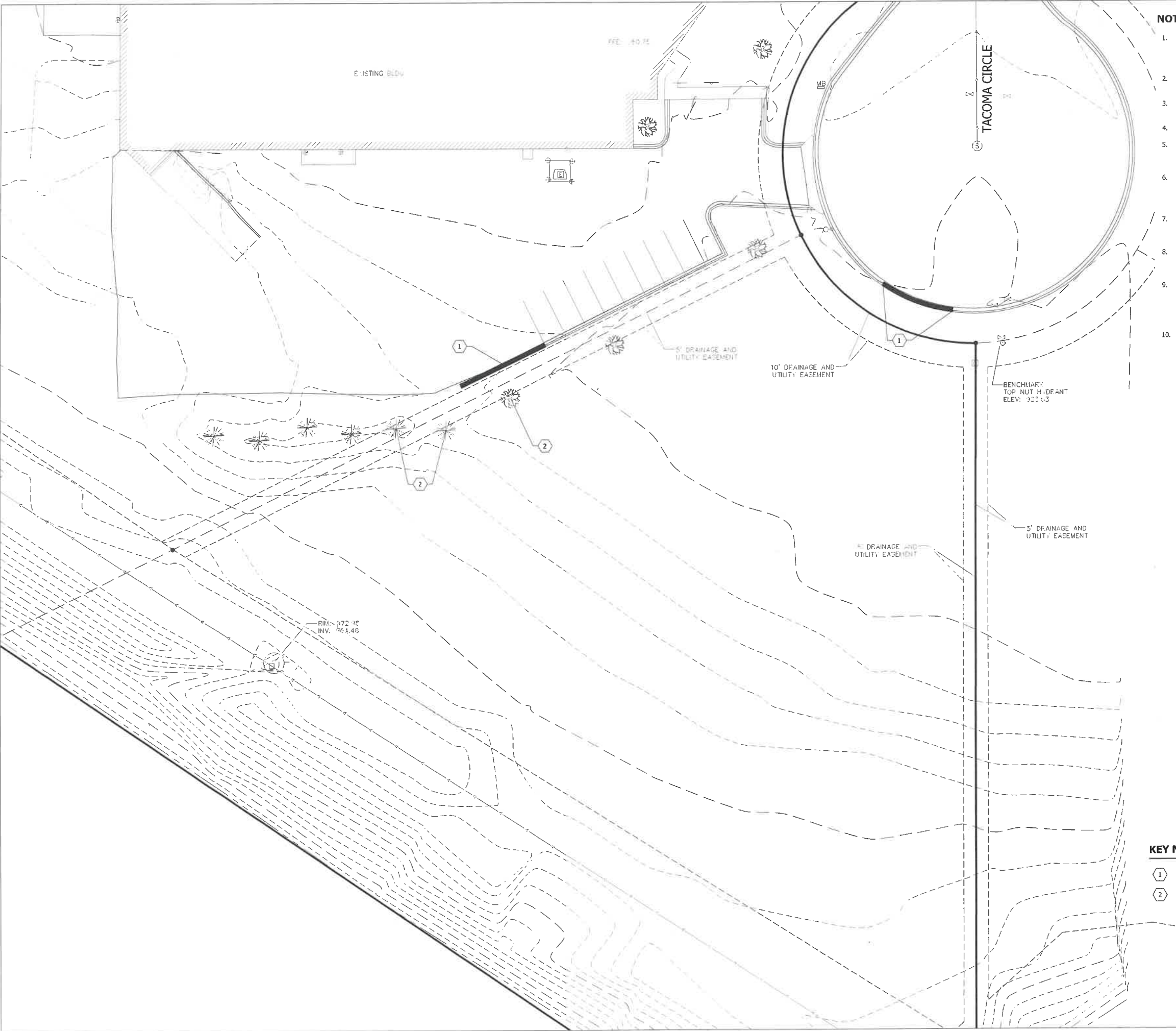
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DRAWN BY: NPK
CHECKED BY: JEA
PROJECT NO.: 06822001

NO.	DATE	DESCRIPTION
1	07/13/22	REVISED SITE PLAN-BUILDING
2	08/08/22	REVISED SITE PLAN-CURB

SITE & GRADING
PLAN

DRAWING NO.
C201



- NOTES:**
- EXISTING CONDITIONS & TOPOGRAPHIC INFORMATION PROVIDED BY:
DESIGN TREE ENGINEERING & LAND SURVEYING
120 17TH AVENUE W
ALEXANDRIA, MN 56308
 - CONTRACTOR SHALL FIELD VERIFY ALL BUILDING DIMENSIONS AND REMOVAL LIMITS PRIOR TO ANY CONSTRUCTION.
 - SAWCUT CURB AND GUTTER AND SIDEWALK, OR REMOVE AT NEAREST EXPANSION JOINTS.
 - SAWCUT BITUMINOUS PAVEMENT FULL DEPTH AT ALL TIE-IN LOCATIONS.
 - CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS, AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXCESS OR WASTE MATERIAL GENERATED AS PART OF CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 - CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
 - THE LOCATIONS AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATION AND ELEVATION TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION.
 - GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166.

- LEGEND**
- HYDRANT
 - SANITARY MANHOLE
 - GATE VALVE
 - POWER POLE
 - LIGHT POLE
 - CATCH BASIN
 - SIGN
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - POWER BOX
 - ELECTRIC METER
 - STORM SEWER LINE
 - SANITARY SEWER LINE
 - WATERMAIN
 - CONCRETE PAVEMENT
 - BITUMINOUS PAVEMENT
 - AGGREGATE SURFACING
 - LANDSCAPING
 - BUILDING

- REMOVALS LEGEND**
- CURB REMOVAL
 - BITUMINOUS PAVEMENT REMOVAL
 - CONCRETE REMOVAL
 - REMOVAL ITEM

- KEY NOTES:**
- SAWCUT EXISTING CURB & GUTTER OR REMOVE AT NEAREST EXPANSION JOINT
 - REMOVE TREE



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PRINTED NAME: JEREMY E. ANDERSON

DATE: 07-13-2022 LICENSE #: 44223

YEAGER MACHINE

415 TACOMA CIRCLE
NORWOOD YOUNG
AMERICA MN, 55368

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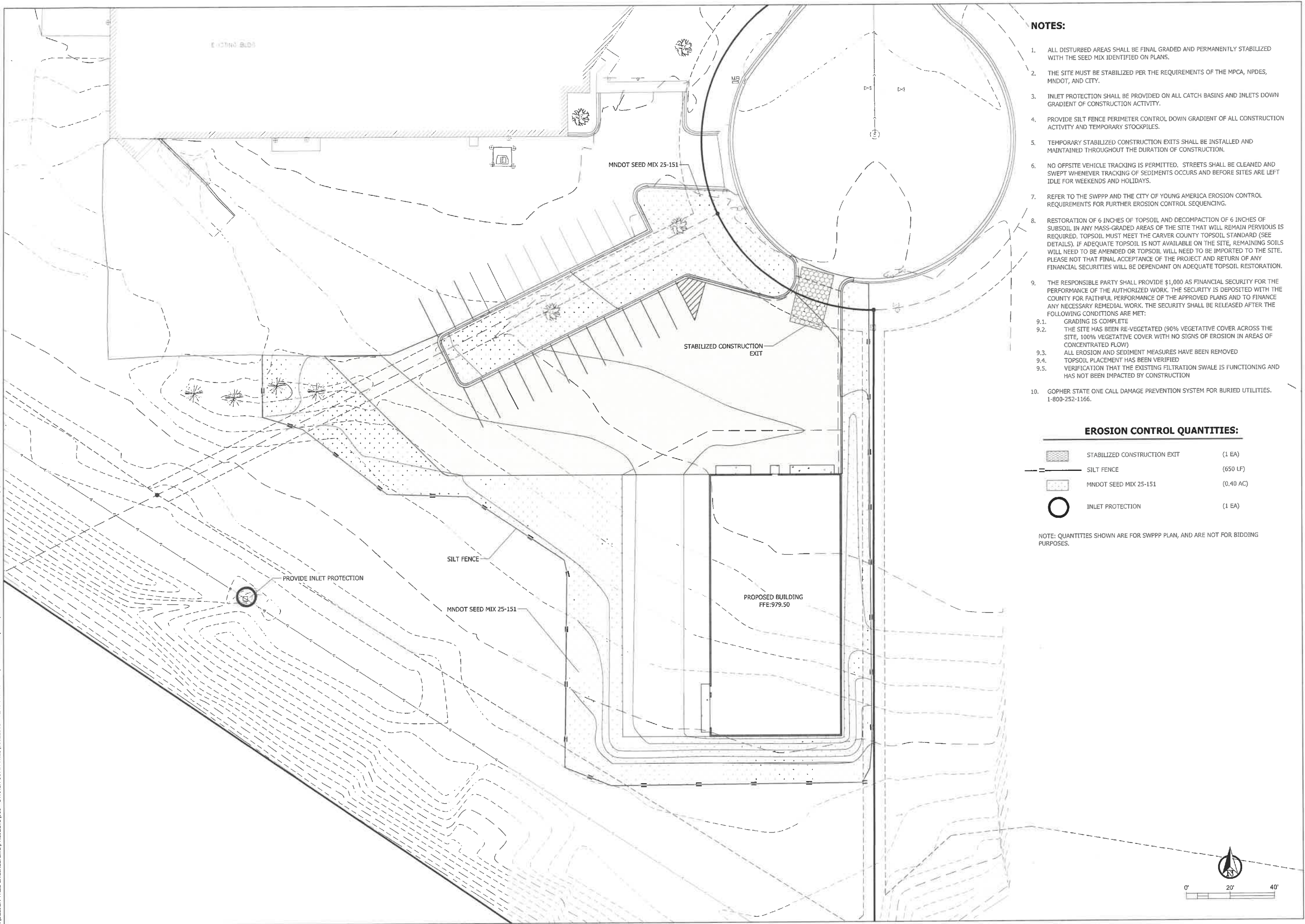
PROJECT NO.: 06822001

NO.	DATE	DESCRIPTION
1	07/13/22	REVISED SITE PLAN-BUILDING
2	08/08/22	REVISED SITE PLAN-CURB

EXISTING
CONDITIONS &
REMOVALS PLAN

DRAWING NO.

C101



NOTES:

- ALL DISTURBED AREAS SHALL BE FINAL GRADED AND PERMANENTLY STABILIZED WITH THE SEED MIX IDENTIFIED ON PLANS.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
- INLET PROTECTION SHALL BE PROVIDED ON ALL CATCH BASINS AND INLETS DOWN GRADIENT OF CONSTRUCTION ACTIVITY.
- PROVIDE SILT FENCE PERIMETER CONTROL DOWN GRADIENT OF ALL CONSTRUCTION ACTIVITY AND TEMPORARY STOCKPILES.
- TEMPORARY STABILIZED CONSTRUCTION EXITS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- NO OFFSITE VEHICLE TRACKING IS PERMITTED. STREETS SHALL BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS.
- REFER TO THE SWPPP AND THE CITY OF YOUNG AMERICA EROSION CONTROL REQUIREMENTS FOR FURTHER EROSION CONTROL SEQUENCING.
- RESTORATION OF 6 INCHES OF TOPSOIL AND DECOMPACTION OF 6 INCHES OF SUBSOIL IN ANY MASS-GRADED AREAS OF THE SITE THAT WILL REMAIN PERVIOUS IS REQUIRED. TOPSOIL MUST MEET THE CARVER COUNTY TOPSOIL STANDARD (SEE DETAILS). IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON THE SITE, REMAINING SOILS WILL NEED TO BE AMENDED OR TOPSOIL WILL NEED TO BE IMPORTED TO THE SITE. PLEASE NOT THAT FINAL ACCEPTANCE OF THE PROJECT AND RETURN OF ANY FINANCIAL SECURITIES WILL BE DEPENDANT ON ADEQUATE TOPSOIL RESTORATION.
- THE RESPONSIBLE PARTY SHALL PROVIDE \$1,000 AS FINANCIAL SECURITY FOR THE PERFORMANCE OF THE AUTHORIZED WORK. THE SECURITY IS DEPOSITED WITH THE COUNTY FOR FAITHFUL PERFORMANCE OF THE APPROVED PLANS AND TO FINANCE ANY NECESSARY REMEDIAL WORK. THE SECURITY SHALL BE RELEASED AFTER THE FOLLOWING CONDITIONS ARE MET:
 - GRADING IS COMPLETE
 - THE SITE HAS BEEN RE-VEGETATED (90% VEGETATIVE COVER ACROSS THE SITE, 100% VEGETATIVE COVER WITH NO SIGNS OF EROSION IN AREAS OF CONCENTRATED FLOW)
 - ALL EROSION AND SEDIMENT MEASURES HAVE BEEN REMOVED
 - TOPSOIL PLACEMENT HAS BEEN VERIFIED
 - VERIFICATION THAT THE EXISTING FILTRATION SWALE IS FUNCTIONING AND HAS NOT BEEN IMPACTED BY CONSTRUCTION
- GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166.

EROSION CONTROL QUANTITIES:

	STABILIZED CONSTRUCTION EXIT	(1 EA)
	SILT FENCE	(650 LF)
	MNDOT SEED MIX 25-151	(0.40 AC)
	INLET PROTECTION	(1 EA)

NOTE: QUANTITIES SHOWN ARE FOR SWPPP PLAN, AND ARE NOT FOR BIDDING PURPOSES.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME: JEREMY E. ANDERSON

DATE: 07-13-2022

LICENSE #: 44223

YEAGER MACHINE

415 TACOMA CIRCLE
NORWOOD YOUNG
AMERICA MN, 55368

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PROJECT NO.: 06822001

NO.	DATE	DESCRIPTION
1	07/13/22	REVISED SITE PLAN-BUILDING
2	08/08/22	REVISED SITE PLAN-CURB

EROSION
CONTROL PLAN

DRAWING NO.

C301

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PRINTED NAME: JEREMY E. ANDERSON
DATE: 07-13-2022 LICENSE #: 44223

YEAGER MACHINE

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NORWOOD YOUNG
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PROJECT NO.: 06822001

NO.	DATE	DESCRIPTION
1	07/13/22	REVISED SITE PLAN-BUILDING

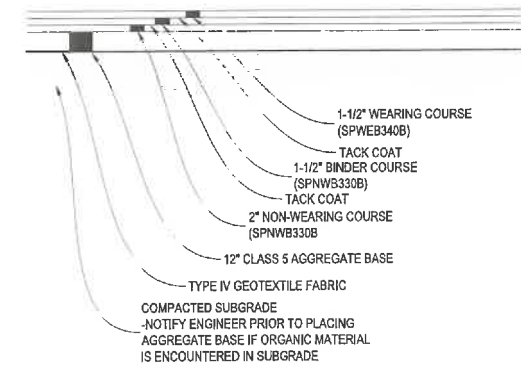
CIVIL
DETAILS

DRAWING NO.
C401

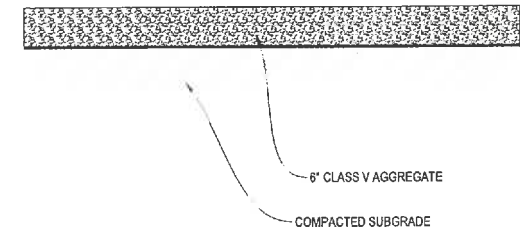
Table 1. Carver County Topsoil Standard

Requirement	Range	Test Method
Material Passing the ¼ in [19 mm]	100 %	ASTM D 422
Material passing No 4 in [4.75 mm]	≥ 85%	-
Clay	5% – 30%	ASTM D 422
Silt	5% - 35%	ASTM D 422
Sand	38% - 75%	ASTM D 422
Organic matter	3% – 15%	ASTM D 2974
pH	6.1 – 7.5	ASTM G 51
Compaction	- 1,400 kilopascals (kPa) / 200 pounds per square inch (psi) in the upper 12 inches of soil, or - bulk density of less than 1.4 grams per cubic centimeter (g/cm ³) in the upper 12 inches of soil	Field test

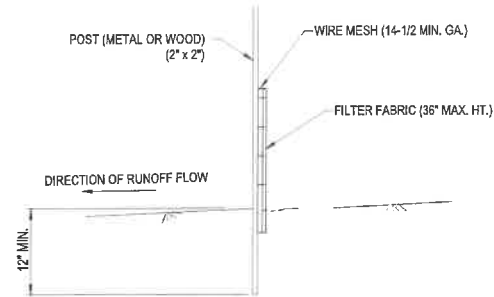
- NOTES:
1. ALL ORGANIC OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM BENEATH THE ROADWAY.



TYPICAL BITUMINOUS PAVEMENT SECTION
SCALE=1/4\"/>

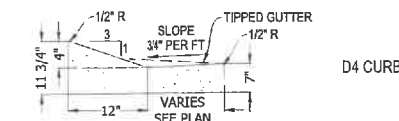
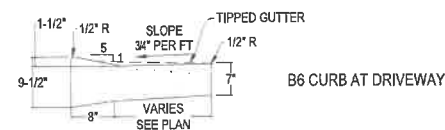
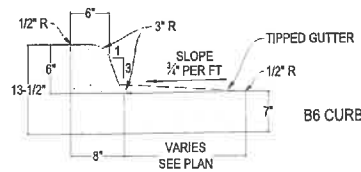


TYPICAL AGGREGATE SECTION
SCALE=1/4\"/>

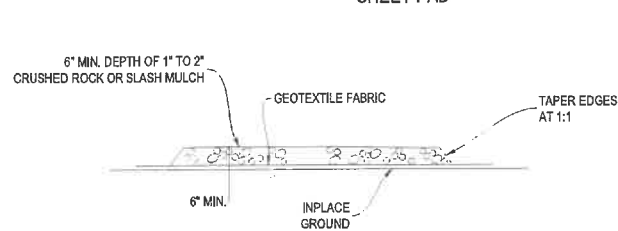
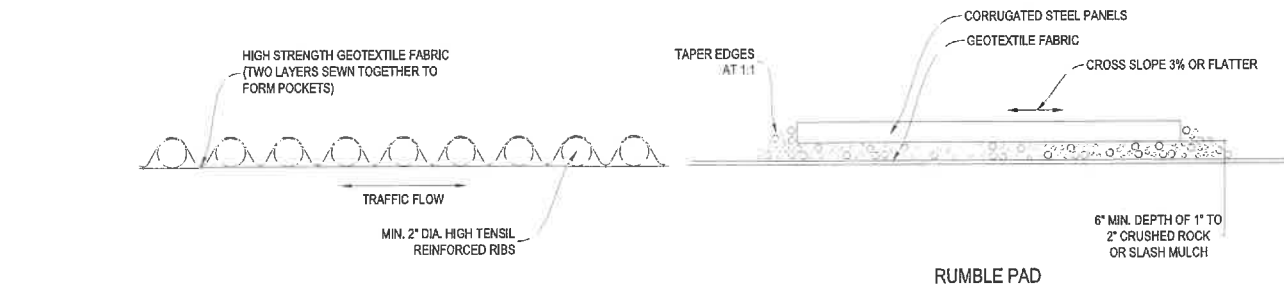
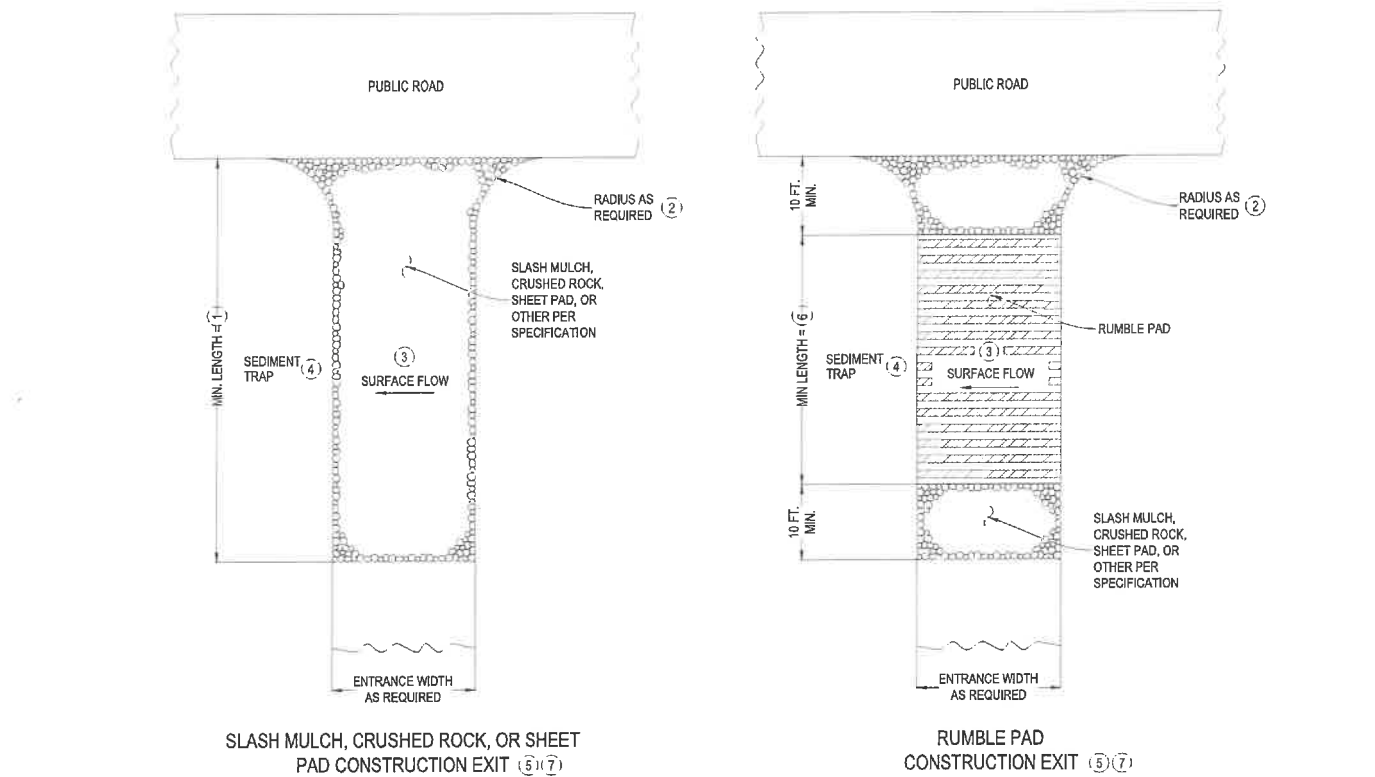


- NOTES:
1. TYPE OF FENCING TO BE USED SHALL COMPLY WITH MNDOT 3886.1 UNLESS INDICATED OTHERWISE ON PLANS.
 2. DIG A 6" x 6" TRENCH ALONG THE INTENDED FENCE LINE.
 3. DRIVE ALL POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF TRENCH.
 4. WIRE FENCING PER MNDOT SPEC. 3886. WIRE MESH MUST BE A MINIMUM OF 2" INTO THE GROUND AND NO MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE.
 5. FILTER FABRIC PER MNDOT SPEC. 3886. FABRIC APPARENT OPENING SIZE (AOS) SHALL BE 30 TO 80 IN AREAS OF COARSE GRAINED SOILS, AND 50 TO 80 IN AREAS OF FINE GRAINED SOILS.
 6. LAY OUT SILT FENCE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACK FILL.
 7. WOOD POSTS MAY BE SPACED UP TO 4 FEET APART IF WIRE MESH IS NOT USED TO SUPPORT THE FABRIC. IF WIRE MESH IS USED TO SUPPORT THE FABRIC STEEL POSTS MAY BE SPACED UP TO 8 FEET APART.

SILT FENCE DETAIL
SCALE=1/4\"/>



CURB & GUTTER DETAILS
SCALE=1/4\"/>



NOTES:

SEE SPECS. 2573 & 3882.

1. MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS.
2. PROVIDE RADIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.
3. IF RUNOFF FROM DISTURBED AREAS FLOWS TOWARD CONSTRUCTION EXITS, PREVENT RUNOFF FROM DRAINING DIRECTLY TO PUBLIC ROAD OVER CONSTRUCTION EXIT BY CROWNING THE EXIT OR SLOPING TO ONE SIDE. IF SURFACE GRADING IS INSUFFICIENT, PROVIDE OTHER MEANS OF INTERCEPTING RUNOFF.
4. IF RUNOFF FROM CONSTRUCTION EXITS WILL DRAIN OFF OF PROJECT SITE, PROVIDE SEDIMENT TRAP WITH STABILIZED OVERFLOW.
5. IF A TIRE WASH OFF IS REQUIRED THE CONSTRUCTION EXITS SHALL BE GRADED TO DRAIN THE WASH WATER TO A SEDIMENT TRAP.
6. MINIMUM LENGTH OF RUMBLE PAD SHALL BE 20 FEET, OR AS REQUIRED TO REMOVE SEDIMENT FROM TIRES. IF SIGNIFICANT SEDIMENT IS TRACKED FROM THE SITE, THE RUMBLE PAD SHALL BE LENGTHENED OR THE DESIGN MODIFIED TO PROVIDE ADDITIONAL VIBRATION. WASH-OFF LENGTH SHALL BE AS REQUIRED TO EFFECTIVELY REMOVE CONSTRUCTION SEDIMENT FROM VEHICLE TIRES.
7. MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL (SLASH MULCH OR CRUSHED ROCK) OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.

STABILIZED CONSTRUCTION EXIT DETAILS
SCALE=1/4\"/>



Easton Place
510 22nd Ave. East, Suite 102
Alexandria, MN 56308
ph. (320) 763-9368
fax (320) 762-9063

YEAGER
MACHINE SHOP
NORWOOD YOUNG AMERICA

PLAN AND ELEVATIONS

ISSUE FOR: PE/CC APPROVALS
ISSUE DATE: 8/14/2022

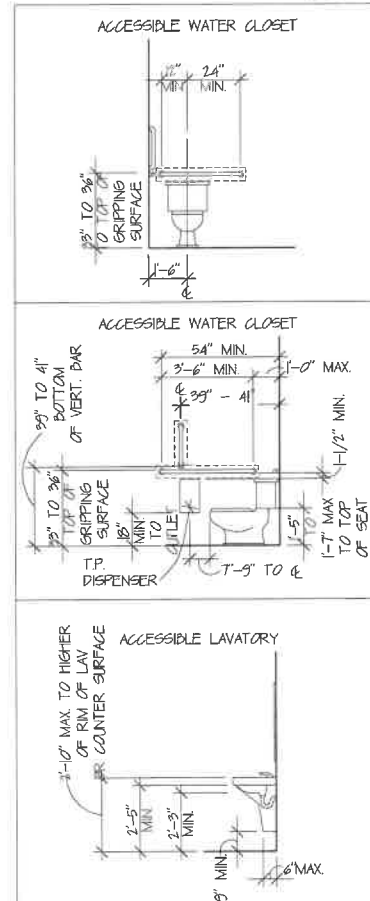
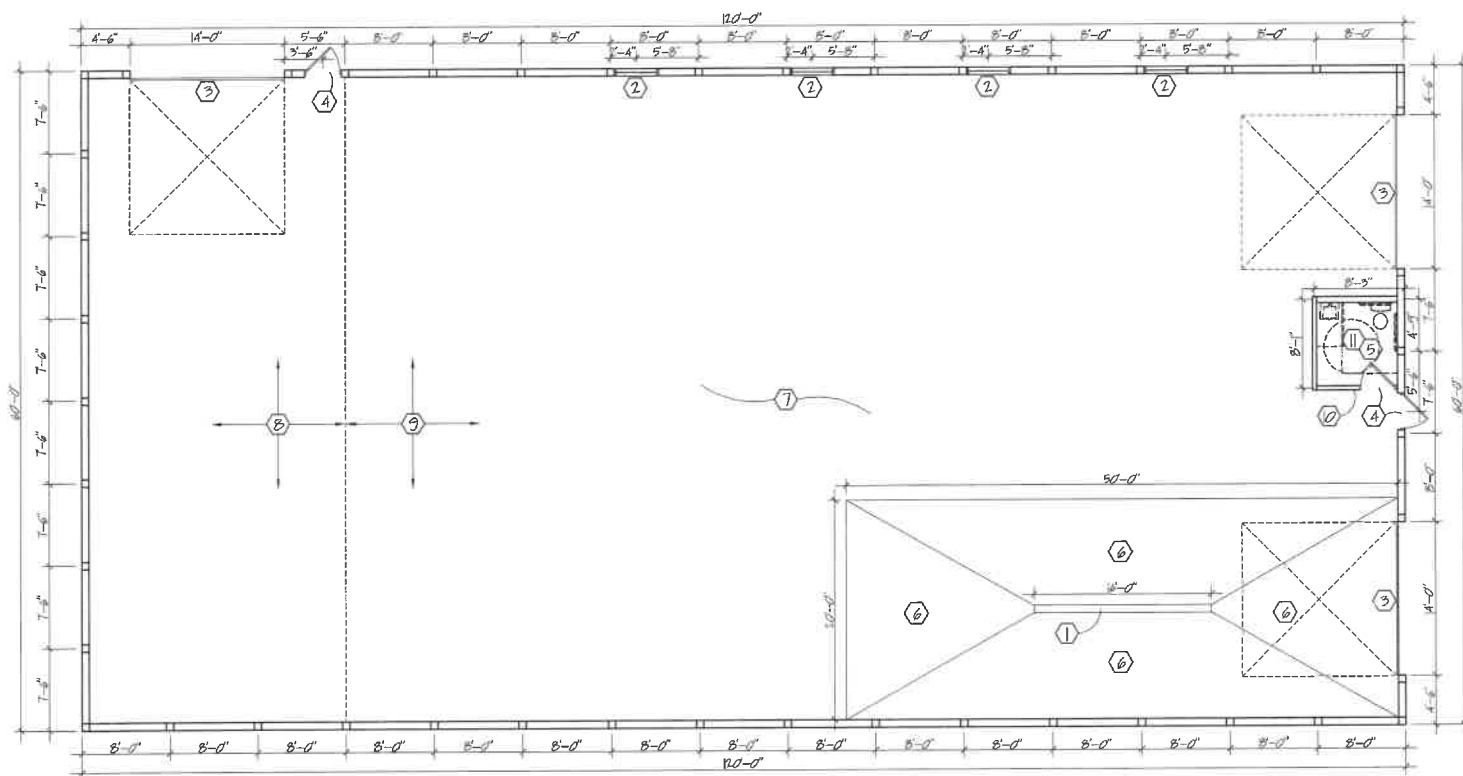
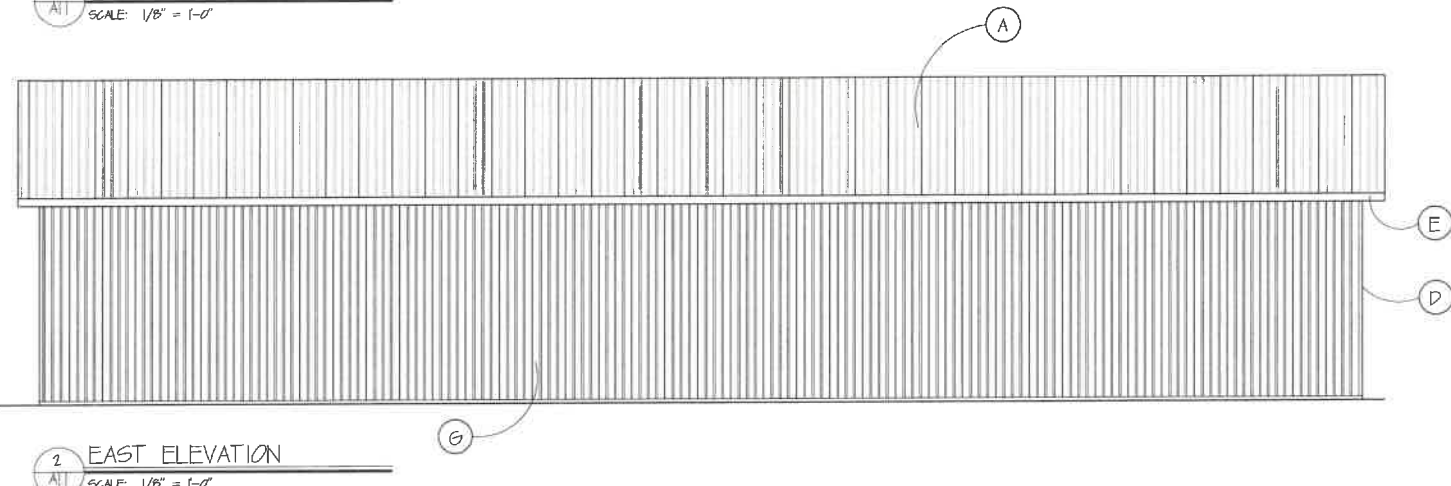
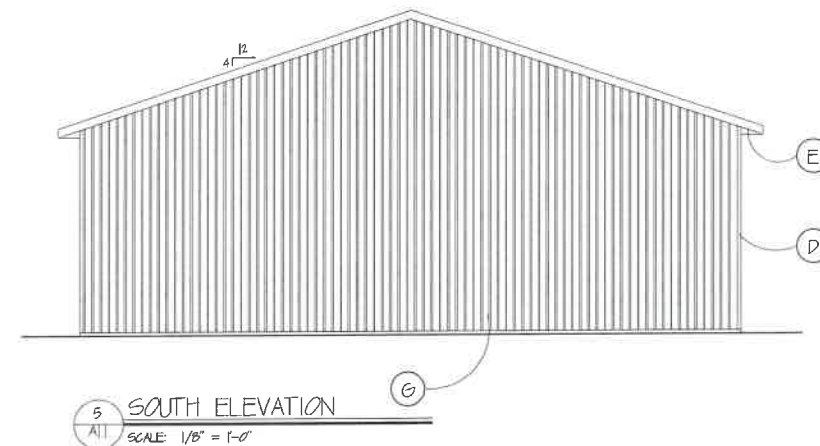
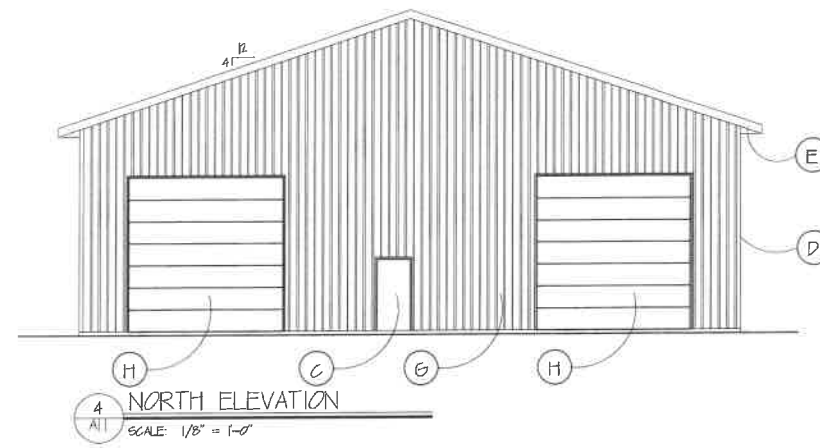
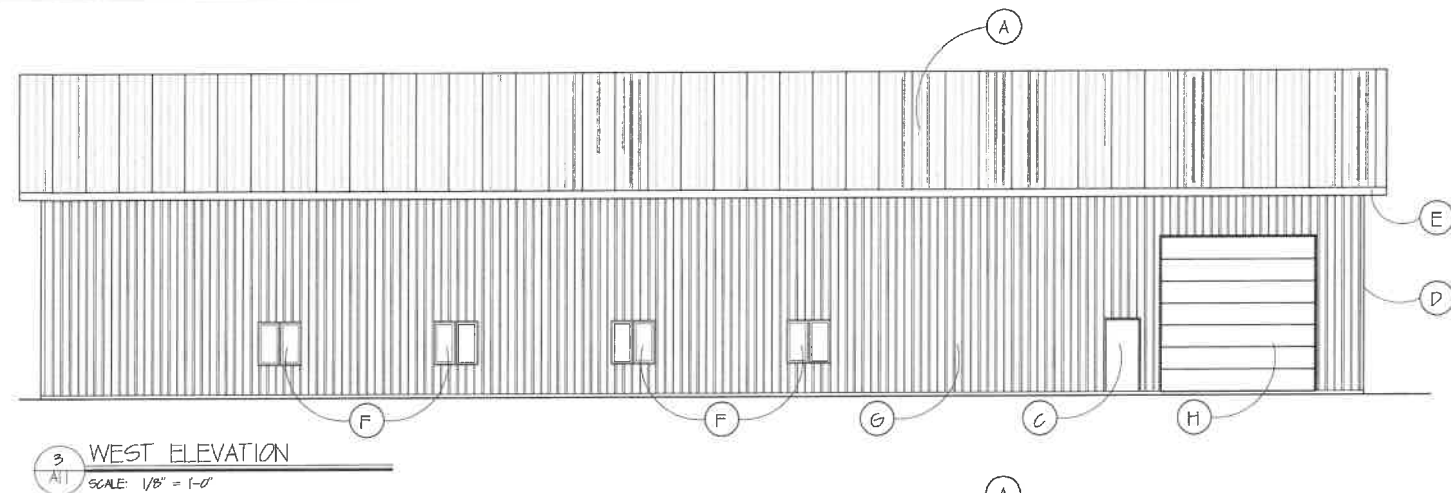
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8/14/2022
REG. NO.

COMMISSION NO. 2231
DRAWN BY: DLT
CHECKED BY: PDR
DATE: 8/14/2022

DRAWING NO.

A1.1

Ringdahl Architects 2022



EXTERIOR FINISH SCHEDULE			
SYMBOL	BASE MATERIAL	FINISH	REMARKS
(A)	METAL ROOF	PREFINISHED	-
(B)	VINYL WINDOW	PREFINISHED	-
(C)	HM DOOR/FRAME	PAINT	-
(D)	CORNER TRIM	PREFINISHED	-
(E)	METAL ROOF EDGE/ SOFFIT/FASCIA	PREFINISHED	-
(F)	VINYL WINDOW	PREFINISHED	-
(G)	METAL SIDING	PREFINISHED	-
(H)	OVERHEAD DOOR	PREFINISHED	-

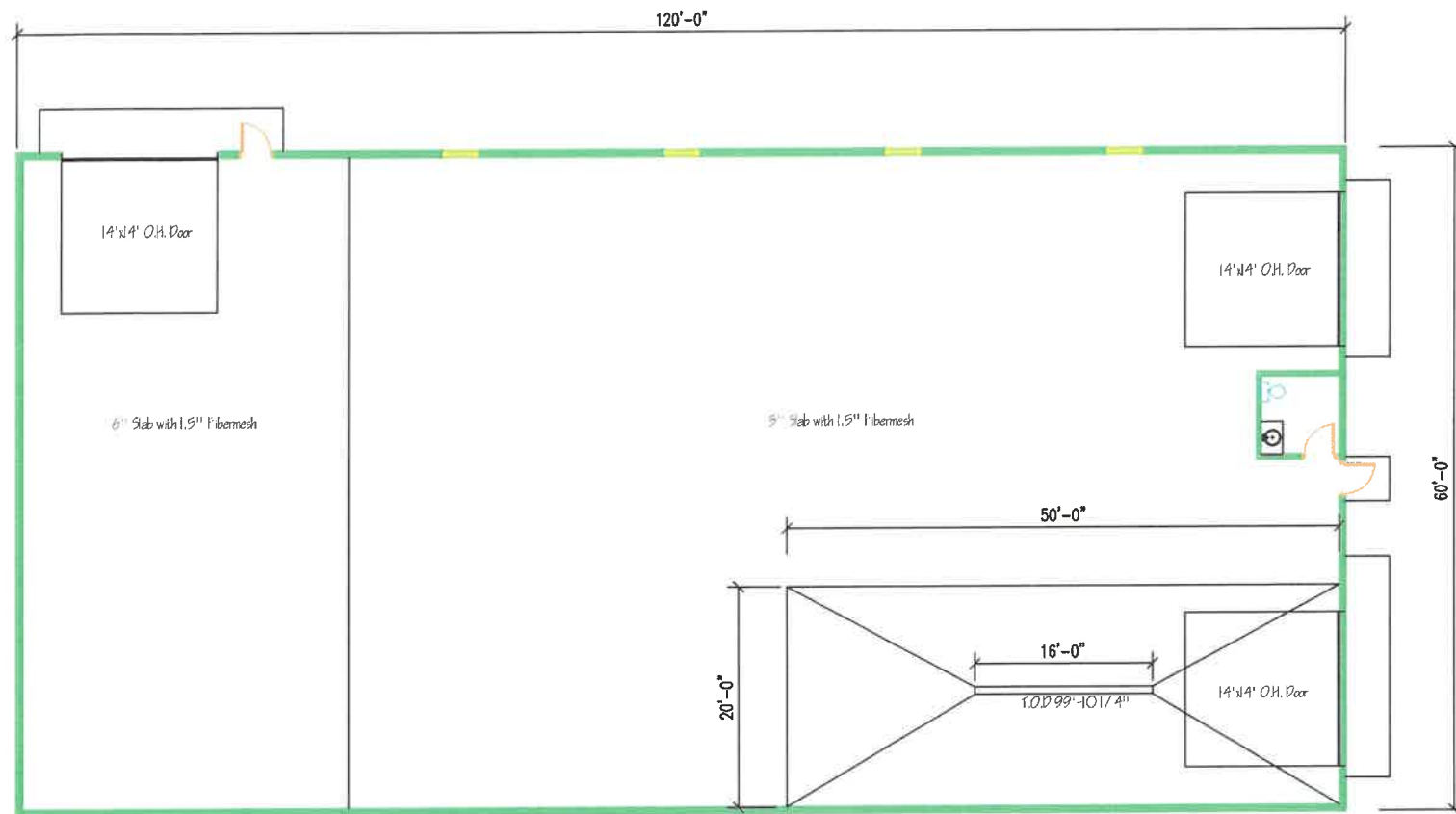
NOTES:
1. COLOR AND FINISH SELECTIONS BY OWNER.
2. PAINT ALL LAMERS, GRILLS, PIPING AND EQUIPMENT TO MATCH ADJACENT WALL/ROOF/SOFFIT SURFACE UNLESS NOTED OTHERWISE.
3. REFER TO MECHANICAL AND ELECTRICAL FOR ADDITIONAL INFORMATION AND EQUIPMENT.
4. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.

GENERAL NOTES

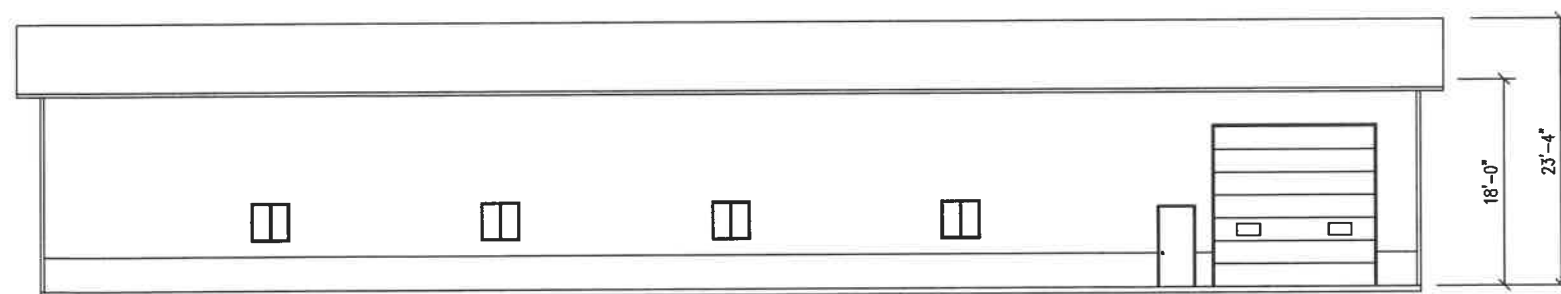
- VERIFY CONDITIONS AND DIMENSIONS AND REPORT DISCREPANCIES TO ARCHITECT FOR RESOLUTION PRIOR TO COMMENCING WORK.
- SEAL ALL MECHANICAL/ELECTRICAL PENETRATIONS OF WALL/CEILING/FLOOR CONSTRUCTION AIR TIGHT.
- DIMENSIONS TO FACE OF MASONRY, FACE OF SHEATHING OR CENTERLINE OF STUD WALL UNLESS NOTED OTHERWISE.
- COORDINATE CONSTRUCTION WITH EQUIPMENT AND MATERIALS BY OWNER.
- PROVIDE 6" WALLS @ ELECTRICAL PANELS AND PLUMBING WALLS (WHERE REQUIRED).
- DO NOT SCALE DRAWINGS.
- REFER TO STRUCTURAL MECHANICAL AND ELECTRICAL FOR ADDITIONAL NOTES AND INFORMATION.
- LANDSCAPE ALL DISTURBED AREAS - VERIFY WITH OWNER.

KEYNOTES

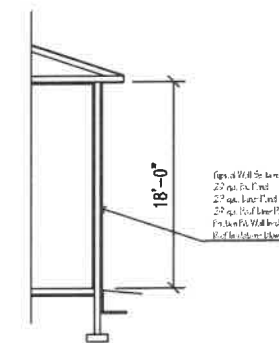
- TRENCH DRAIN - RUN TO FLAMMABLE WASTE
- 48"x48" VINYL WINDOW
- 14'x14' OVERHEAD DOOR WITH ELECTRIC OPENER
- 3'x6'-8" HM DOOR WITH LEVER HARDWARE
- ROUGH-IN RESTROOM FIXTURES ONLY
- SLOPE FLOOR: 1/8" PE RFOOT TO TRENCH DRAIN
- PROVIDE CODE COMPLIANT CO SYSTEM.
- 6" CONCRETE SLAB WITH FIBER MESH PER STRUT.
- 5" CONCRETE SLAB WITH FIBER MESH PER STRUT.
- ADA SIGNAGE AT 60" AFF.
- 60"x78" CLEAR FLOOR SPACE AT TOILET.
- 30"x48" CLEAR FLOOR SPACE AT LAVATORY



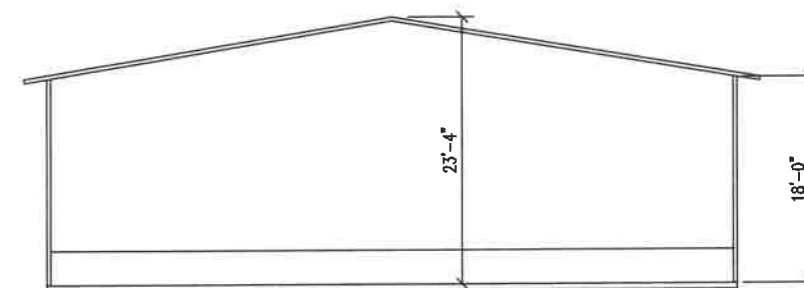
Floor Plan



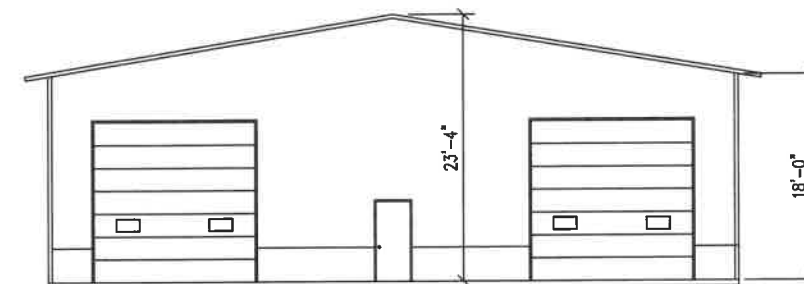
West Elevation



Typical Wall Section



South Elevation



North Elevation

General Notes

No.	Revision/Issue	Date

Firm Name and Address

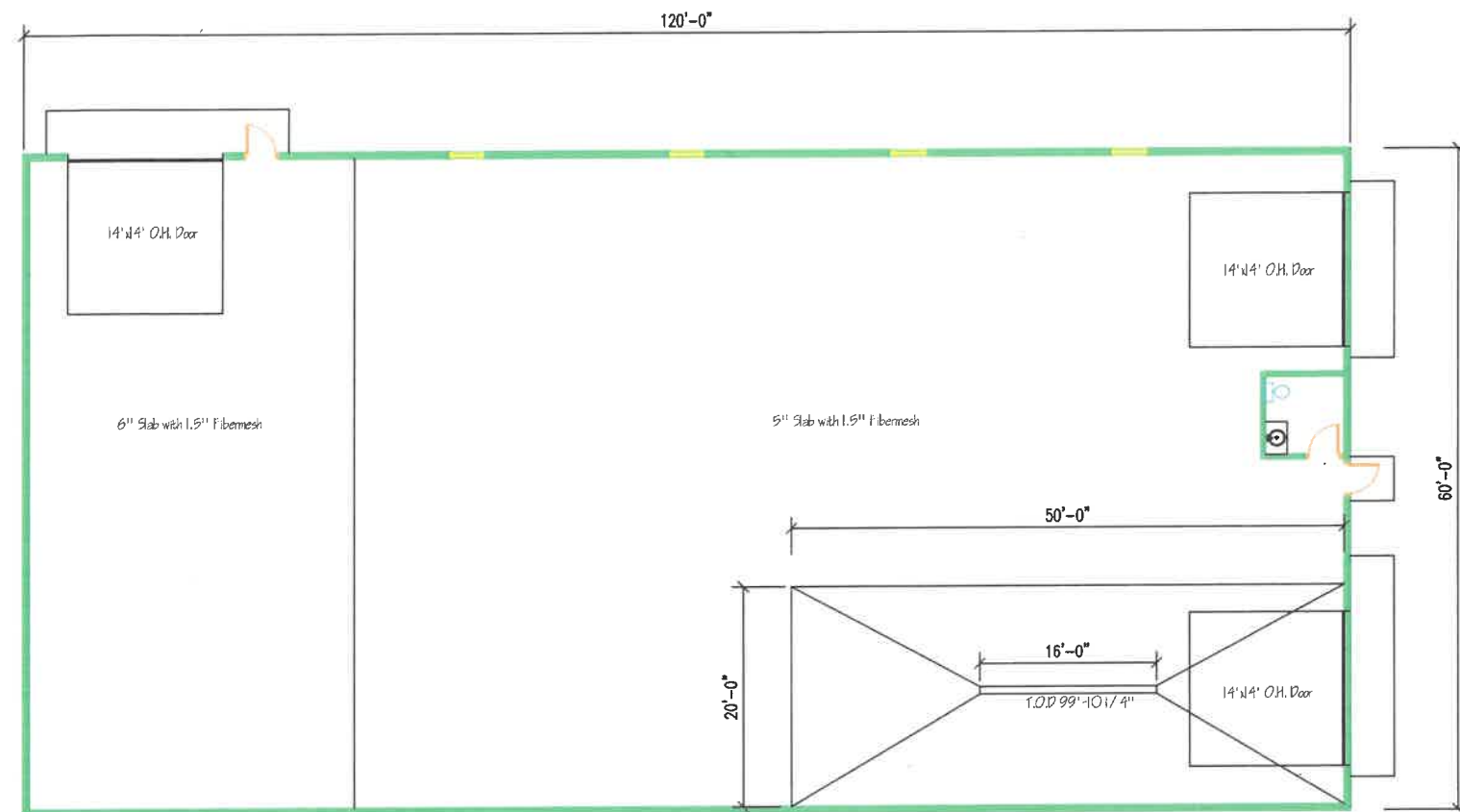
STRACK
construction, inc.

715 15th Av. NE
St Joseph, MN 56374
Phone Number (320) 251-5933
Fax Number (320) 251-3123

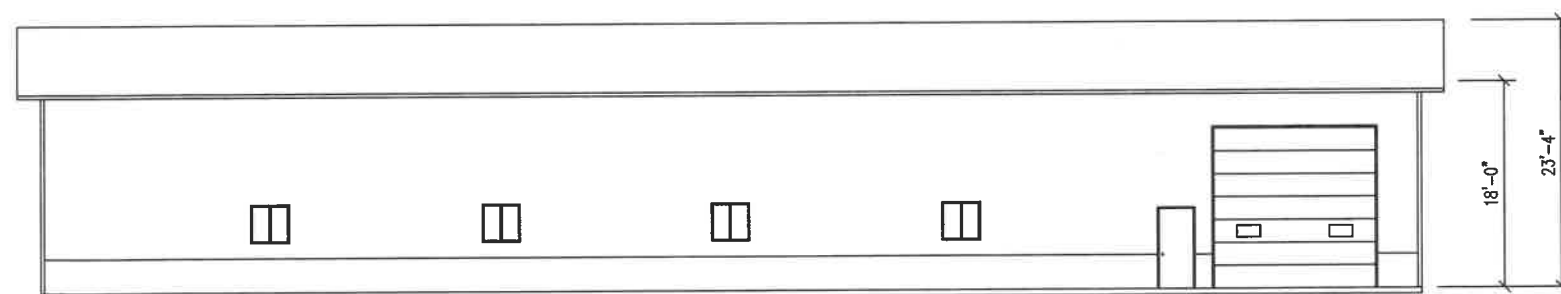
Project Name and Address

Yeager Machine
415 Tacoma Circle
Norwood Young America, MN 55368

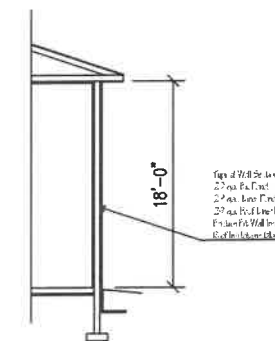
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Date 9.1.22	
Scale NTS	



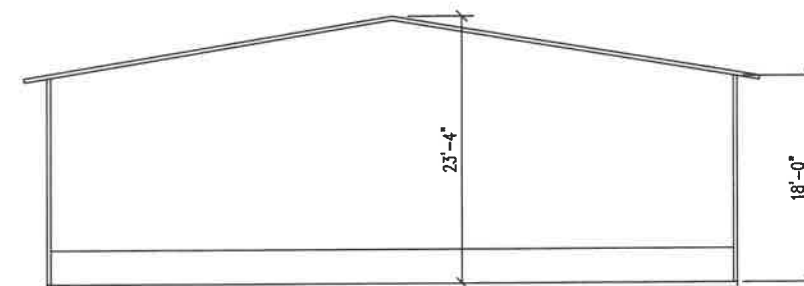
Floor Plan



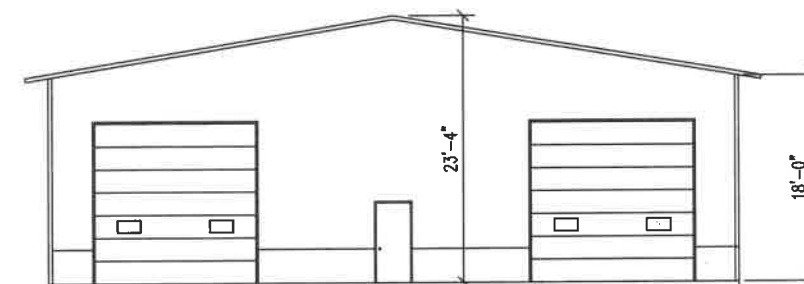
West Elevation



Typical Wall Section



South Elevation



North Elevation

General Notes

No.	Revision/Issue	Date

Firm Name and Address
STRACK
 construction, inc.
 715 15th Av. NE
 St Joseph, MN 56374
 Phone Number (320) 251-5933
 Fax Number (320) 251-3123

Project Name and Address
 Yeager Machine
 415 Tacoma Circle
 Norwood Young America, MN 55368

Project JDN	Sheet A1
Date 9.1.22	
Scale NTS	