



Norwood Young America Planning Commission
6:00 p.m., Wednesday, November 3, 2021
Norwood Young America City Council Chambers, 310 Elm St. W.

AGENDA

1. Call to Order
Pledge of Allegiance
2. Adoption of Agenda
3. Approve Minutes of September 7, 2021 meeting
4. Introductions, Presentations, and Public Comment
(Citizens may address the Planning Commission about any non-agenda item of concern. Speakers must state their name, address, and limit their remarks to three minutes. The Planning Commission will take no official action on these items but may refer the matter to staff for a future report or direct that the matter be scheduled for a future meeting.)
5. Public Hearings
 - A. Plat Tacoma West Industrial Park Fourth Addition
 - B. Conditional Use Permit: Accessory Outdoor Storage of Watercraft and Trailers, Greenwood Marina, Lot 1, Block 1 Tacoma West Industrial Park Fourth Addition
 - C. Variance: Maximum Accessory Structure Height Greenwood Marina, Lot 1, Block 1 Tacoma West Industrial Park Fourth Addition
 - D. Ordinance amending the City Code to provide for sport courts, home recreation facilities, and home sports facilities
6. New Business
 - A. Plat Tacoma West Industrial Park Fourth Addition
 - B. Conditional Use Permit (Accessory Outdoor Storage), Variance (Accessory Structure Height), and Site Plan: Greenwood Marina Lot 1, Block 1 Tacoma West Industrial Park Fourth Addition
 - C. Ordinance amending the City Code to provide for sport courts, home recreation facilities, and home sports facilities
 - D. 2021 PZC Work List
8. Miscellaneous
 - A. October Building Permit Report
9. Commissioner's Reports
10. Adjourn

**Jerry
Barr**

**Mike
Eggers**

**Bill
Grundahl**

**Paul
Hallquist**

**Bob
Smith**

**Craig
Heher
Council
Liaison**

UPCOMING MEETINGS

- November 08 City Council – 6:00 p.m.
- November 10 Economic Development Commission – 6:00 p.m.
- November 16 Finance Committee - 3:00 p.m.
- November 16 Parks and Recreation Commission – 4:45 p.m.
- November 18 Senior Advisory Committee – 9:00 a.m.
- November 22 Work Session, EDA, City Council – 6:00 p.m.
- December 7 Planning Commission – 6:00 p.m.

*Norwood Young America
Planning Commission Minutes
September 7, 2021*

Present: Commissioners Jerry Barr (6:35pm), Mike Eggers, Bill Grundahl, Bob Smith, and Craig Heher.

Absent: Paul Hallquist

Staff: Economic Development and Marketing Director Karen Hallquist.

Public: none

1. Call to Order.

The meeting was called to order by Chair Heher at 6:00 pm. All present stood for the Pledge of Allegiance.

2. Adoption of Agenda.

Chairperson Heher introduced the agenda. No changes were proposed.

Motion – Eggers, second Smith to approve the agenda as presented. The agenda was approved 4-0.

3. Approval of Minutes from the Regular Meeting August 3, 2021.

Heher introduced the minutes from the August 3, 2021 regular meeting.

Motion – Grundahl to approve the August 3, 2021 regular meeting minutes as presented. Second by Smith. With all in favor the regular meeting minutes were approved 4-0.

4. Public Comment.

None.

5. Public Hearings.

6. New Business.

Resolutions Related to TIF District 3-7 Yeager Machine Expansion – Hallquist explained that the City is working through a purchase agreement with Yeager Machine which involves establishing a TIF district. The Planning Commission's responsibility is to review the use of the property to make sure it conforms to the development or redevelopment of the City as spelled out in the 2040 Comprehensive Plan. The City's TIF Consultant, Ehlers and Kennedy & Graven, prepared background information and resolution. The information reflects the Modification to the Redevelopment Plan for the Tacoma West Industrial Park Project and the TIF plan for the Yeager land purchase and expansion project.

Smith questioned why the document did not spell out the specific number of increased jobs created as a result of the expansion as that is what is ultimately needed in order to qualify for Economic based TIF business subsidy. Hallquist confirmed that Yeager will indeed be adding 10 jobs, however, will verify with the consultants if it needs to be stated in the modification documents.

Grundahl asked about TIF and how it would work in this situation. Hallquist explained that the business subsidy – or reduction in land cost – is a benefit to the purchaser up front. In this case, it would be \$1/sf, however, the City invested \$2.75/sf for the initial purchase of land and infrastructure. In order to recoup the originally invested amount in the property, the City establishes a TIF district with the business expansion. The City has up to 9 years to claim the city, school and county taxes of whatever the increase in tax value that becomes of that district after the expansion is completed.

The City Council has already authorized a public hearing set for September 27, 2021 to expedite the process given this is a future expansion of an already existing business in the Tacoma West Industrial Park.

Motion by Smith, seconded by Eggers to recommend the approval of Resolution No. 2021-22 of the Norwood Young America Planning Commission finding that a Modification to the Redevelopment Plan for the Tacoma West Industrial Park Redevelopment Project and the Tax Increment Financing Plan for Tax Increment Financing District No. 3-7 confirm to the general plans for the development and redevelopment of the City. Motion approved 4-0.

7. Old Business.

A. Discussion: Sport Courts, Home Recreation Facilities, or Home Sports Facilities.

Heher introduced the agenda item.

Hallquist shared that at the August 23, 2021 work session, the City Council advised the Planning Commission to entertain an ordinance amending Chapter 12 of the City Code to provide for such facilities.

Smith-Strack drafted the ordinance, so if approved would (A) updated zoning code definitions to include sport courts, (B) list sport courts, tennis courts, home recreational facilities, and home sports facilities as permitted accessory uses in the R-1, R-2, R-3 and R-4 residential districts, and (C) create a new free-standing section of code pertaining specifically to such uses.

Commissioners review the draft ordinance and all agreed that the sport court facilities should be allowed in the RC-1 District. Smith and Heher commented it may be difficult given the smaller size of lots in the RC-1 District, however, agreed the facility could be in the backyard if they can meet lot coverage and setbacks.

Heher shared that his understanding is the facility would be reviewed with an Administrative Permit with no fee and not a Building Permit. He would also like to see a “cheat sheet” that could be provided with the permit to clarify all of the requirements that go along with sport courts, swimming pools, sheds, fencing and other permitted facilities and accessories.

Hallquist asked for clarification on Subd. 3 General Requirements C. having to do with fencing or

netting surrounding the facility. Commissioners agreed that the proposed twelve (12) feet in height for above the court surface is acceptable with a solid wall not exceeding ten (10) feet. Heher would like to change the language of D. Lighting to reference Code similar to the E. Noise standard rather than detail out the requirements.

On the R-4 Multiple Family Residential District, Smith and Eggers discussed that a multi-unit developer would normally have some sort of recreational facility (playground, etc.) as part of a development plan.

8. Miscellaneous.

A. August Building Permit Report.

The July building permit report was received. Hallquist shared the building report that she references which gives month to date and year to date totals and categories. Eggers and Grundahl requested the name/address/project report as previously provided so locations of work can be identified within the City.

9. Commissioner Reports.

Parks – none

EDC – none

City Council – Heher shared the following:

- Ten (10) applications have been received to date for the City Administrator position. Interviews will be scheduled sometime in Oct.
- America Relief Funds – The City has received half of the \$488,000 total payment in July. The City has until 2026 to expend all monies.
- A new Little Library has been donated and installed by a Girl Scout Troop in Legion Park.
- The MinnERod and street dance was held on Main Street on August 21st.
- 4.0 Busing Company is scheduled to close on purchasing the Molnau Property before the end of the year.
- The amendment for the definition of adult uses was approved at City Council.
- The City is researching the cost of a Compensation Study which will compare wages, job description and benefits to cities of similar size/location. The last study was done in 2010.

10. Adjourn

Motion – Smith, Second Eggers to adjourn the meeting. With all in favor the meeting adjourned at 6:43 p.m.

Respectfully submitted,

Karen Hallquist
Acting Zoning Administrator



To: Chairperson Heher
Members of the Planning Commission
Acting Administrator Brumbaugh

From: Cynthia Smith Strack, Consulting Planner

Date: November 3, 2021

Re: Public Hearing: Preliminary/Final Plat – Tacoma West Industrial Park 4th Addition

Applicants: City of Norwood Young America
Angie and Aaron Bean (Greenwood Marina)

Property Owner: City of Norwood Young America

Subject Property Address: Current 410, 416 & 420 Tacoma Circle. Future: TBD

Property ID: 587500130, 587500120, & 587500110 (subject to change – resubdivision)

Legal: Lots 8-10, Block 2, Tacoma West Industrial Park Carver County, Minnesota.
(Proposed to be platted as Lot 1, Block 1 Tacoma West Industrial Park 4th Addition).

Zoning Class: I-1 Light Industrial

Requests: Preliminary and Final Plat Approval

Attachments: Proposed Plat

BACKGROUND

The City (Property Owner) and Angie and Aaron Bean, owners of Greenwood Marina (Applicants) propose purchase of portions of three current, improved lots and establishment of a marine warehouse and storage use on said lots. In order to accommodate the development, the City proposes resubdivision of the improved lots into Lot 1, Block 1 and Outlot A, Tacoma West Industrial Park Fourth Addition.

Please find attached an aerial map for reference and the proposed plat. The purpose of platting is to combine three existing improved lots into one parcel while retaining an existing public stormwater facility in an outlot. The resubdivision will enable development. Vacation of existing drainage and utility easements has been initiated by the City. Dedication of a new drainage and utility easement on a proposed shared lot boundary is illustrated on the plat.

REVIEW:

Submittal of review of the final plat by Carver County (Surveyor's Office and Taxation) has been requested by staff to the Applicant.

The proposed plat has been forwarded to the City Engineer and City Attorney for review.

The proposed planned use is consistent with the 2040 Comprehensive Plan. Zoning is to remain Light Industrial. Lot performance standards are achieved as per requirements of the Light Industrial District. No change to infrastructure is proposed.

In addition to plat approval the City Council will consider vacation of drainage/utility easements on existing common lot lines. The Planning Commission is to recommend an action to the City Council. The proposed plat illustrates new du easements on the proposed common lot line.

RECOMMENDATION:

Staff recommends approval of the resubdivision contingent on the following:

1. Title review by the City Attorney.
2. Incorporation of comments contained in a staff memo dated October 21, 2021 from John Swanson, Bolton-Menk.
3. Revision of the location of a shard boundary between Lot 1, Block 1 and Outlot A Tacoma West Industrial Park Fourth Addition, in the event the stormwater pond is required to be expanded.
4. Incorporation of comments from Carver County Surveyor's Office and Taxation, if applicable.
5. Certification that all taxes are paid.
6. Recording of the final plat at the Carver County Recorder's Office within 120 days of the date of approval by the City Council.

Staff recommends approval of the easement vacation with no conditions.

ACTION

The Planning Commission is to hold a public hearing on the resubdivision. Following the hearing and discussion consideration of the replat is in order.

1. After review and discussion, the Planning Commission may consider a MOTION to recommend approval of the replat to the City Council.
2. Following action on the plat the Planning Commission may consider a MOTION to recommend the City Council approve vacation of drainage and utility easements on existing common lot lines between Lots 8-10, Block One Tacoma West Industrial Park.



**BOLTON
& MENK**

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October 21, 2021

City of Norwood Young America
Attn: Cynthia Smith-Strack
310 W. Elm St.
P.O. Box 59
Norwood Young America, MN 55368

**RE: Greenwood Marina
Site Plan and Plat Review
Project No.: 0C1.124187**

Dear Ms. Smith-Strack:

We have completed an engineering review of the submitted information for the above referenced project. Our review is based on plans bearing the general title "RAM General Contracting, Construction Plans for Greenwood Marina Site Design", dated October 14, 2021, prepared by SHE, and a plat titled Tacoma West Industrial Park 4th Addition, undated, prepared by E.G. Rud & Sons, Inc. We offer the following comments and recommendations for your consideration:

General:

- 1) Our review assumes all improvements proposed will be privately owned and maintained.
- 2) Permits may be required for this project, including but not limited to NPDES Storm Water, CCWMO, and other permits relative to the use of the site as required by appropriate governing agencies, etc. Copies of all required permits shall be submitted.
- 3) The applicant shall submit the amount of additional impervious surface proposed, and verify the existing drainage facilities, including ponding and storm water treatment, on site are adequate to accommodate the proposed improvements. Calculations and verifications shall be submitted to the City and CCWMO.
- 4) The proposed storm sewer from the drive to the pond shall be RCP. The last 3 downstream joints, minimum shall be tied.

City of Norwood Young America
Greenwood Marina
October 21, 2021

- 5) It is recommended the proposed gravel surfaces be paved. The proposed gravel areas appear to function as accesses, driveways, and parking. It is our understanding Code and Development Covenants require these areas to be paved.

In addition, the majority of the site drains directly to the pond. Gravel surfaces generally will increase turbidity, sediment and gravel collecting in the pond, and result in the need for more frequent pond maintenance.

- 6) The Fire Chief should review the plans to determine if a hydrant within the site is warranted.
- 7) Silt fence or a minimum of 2 rows of sod in disturbed areas adjacent to curb is recommended.
- 8) Restoration of the slope to the pond and pond slope for storm sewer installation shall include a minimum of TRM reinforcement mat with seed.
- 9) The presence of existing utilities, if any, located along common lot lines proposed to be vacated should be verified prior to vacation.

Revised plans and requested information should be submitted as addressed herein. We are available to discuss this matter at your convenience.

Sincerely,

Bolton & Menk, Inc.



John K. Swanson

Cc: Karen Hallquist
Jake Saulsbury

PRELIMINARY COPY

THIS DOCUMENT IS A PRELIMINARY COPY AND SHOULD NOT BE USED FOR ANY PURPOSES WITHOUT THE WRITTEN CONSENT OF E. G. RUD & SONS, INC.

TACOMA WEST INDUSTRIAL PARK 4TH ADDITION

PLAT FILE NO. _____
C.R. DOC. NO. _____



BENCHMARK

TOP SURVEY POINT IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF TACOMA AVENUE AND THE CURVE. ELEVATION = 972.82 FEET MWD33

LEGEND

- BENCHMARK 1/2 INCH HIGH FROM NONMOVEMENT FOUND
- BENCHMARK 1/2 IN. x 1/4 IN. HIGH NONMOVEMENT SET, NUMBER # 42335
- ◻ BENCHMARK CARVER COUNTY CAST IRON MONUMENT
- ◻ BENCHMARK HYDRANT



ORIENTATION OF THE BEARING SYSTEM IS BASED ON THE PLAT TACOMA WEST INDUSTRIAL PARK

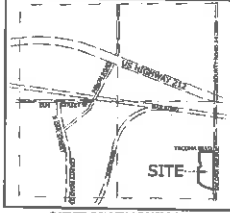
DRAINAGE & UTILITY EASEMENTS ARE SHOWN THERE:



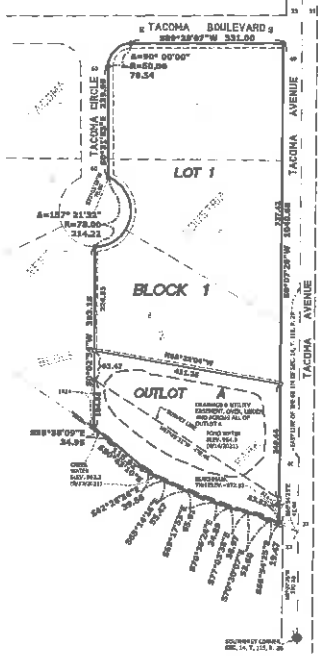
BEING 3.0 FEET IN WIDTH ADDING TO THE 30.0 FEET IN WIDTH ADDING TO THE 30.0 FEET IN WIDTH ADDING TO THE STREET LINES AND ROAD LINES, AS SHOWN ON THE PLAT, UNLESS OTHERWISE SPECIFIED.

VICINITY MAP

PART OF SEC. 14, T. 85, R. 26



CARVER COUNTY, MINNESOTA AND SCALE



KNOW ALL PERSONS BY THESE PRESENTS: That the City of Norwood Young America, a Minnesota municipal corporation for owner of the following described property situated in the County of Carver, State of Minnesota to-wit:

Lots 4, 9, and 10, Block 2, TACOMA WEST INDUSTRIAL PARK, Carver County, Minnesota.

Has caused the same to be surveyed and platted as Lots 4, 9, and 10, Block 2, TACOMA WEST INDUSTRIAL PARK 4TH ADDITION and does hereby donate and dedicate to the public forever the drainage and utility easements as created hereon.

In witness whereof said the City of Norwood Young America, a Minnesota municipal corporation has caused these presents to be signed by its proper officer this ____ day of _____, 2021.

SIGNED: NORWOOD YOUNG AMERICA, a Minnesota municipal corporation

Carol Lagergren _____ Its Mayor

Karen Halquist _____ Its Clerk

STATE OF MINNESOTA

COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____, 2021, by Carol Lagergren, Mayor and Karen Halquist, Clerk of the City of Norwood Young America, a Minnesota municipal corporation on behalf of the corporation.

(Printed Name)

(Signed)

Notary Public, _____ County, Minnesota

My Commission Expires _____

I, Kurt D. Nelson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on the plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined by Minnesota Statutes, Section 355.03, 359.03, 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 2021.

Kurt D. Nelson, Licensed Land Surveyor
Minnesota License No. 45336

STATE OF MINNESOTA

COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____, 2021 by Kurt D. Nelson, Minnesota License No. 45336.

(Printed Name)

(Signed)

Notary Public, _____ County, Minnesota

My Commission Expires _____

NORWOOD YOUNG AMERICA, MINNESOTA
This plat of TACOMA WEST INDUSTRIAL PARK 4TH ADDITION was approved and accepted by the City Council of the City of Norwood Young America, Minnesota, at a regular meeting thereof held this ____ day of _____, 2021, and said plat is in compliance with the provisions of Minnesota Statutes, Section 355.03, Subdivision 2.

CITY COUNCIL OF THE CITY OF NORWOOD YOUNG AMERICA

By: Carol Lagergren _____ Mayor By: Karen Halquist _____ Clerk

COUNTY SURVEYOR, Carver County, Minnesota

Pursuant to Chapter 395, Minnesota Laws of 1971, this plat has been approved this ____ day of _____, 2021.

Brian E. Prastle, Carver County Surveyor By: _____

COUNTY AUDITOR, Carver County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat. Dated this ____ day of _____, 2021.

Crystal Campos, Carver County Auditor By: _____

COUNTY RECORDER, Carver County, Minnesota

I hereby certify that this plat of TACOMA WEST INDUSTRIAL PARK 4TH ADDITION was filed this ____ day of _____, 2021, at ____ o'clock ____ P.M. as Document No. _____

Kirby Smith, Carver County Recorder By: _____

E. G. RUD & SONS, INC.
Professional Land Surveyors



To: Chairperson Heher
Members of the Planning Commission
Acting Administrator Brumbaugh

From: Cynthia Smith Strack, Strack Consulting, LLC

Date: November 3, 2021

Re: Greenwood Marina CUP and Site Plan Review

Applicant: Angie and Aaron Bean, Greenwood Marina

Property Owner: City of Norwood Young America

Subject Property Address: TBD: 410, 416, 420 Tacoma Circle

Property ID: 587510030, 58751070, & 58750080 (subject to change – resubdivision)

Property ID: 587500130, 587500120, & 587500110 (subject to change – resubdivision)

Legal: Lots 8-10, Block 2, Tacoma West Industrial Park Carver County, Minnesota.
(Proposed to be platted as Lot 1, Block 1 Tacoma West Industrial Park 4th Addition).

Zoning Class: I-1 Light Industrial

Requests: Conditional Use Permit for outdoor storage as provided for under Section 1210.06, Subd. 3(B)(18) of the City Code. If approved the conditional use permit will allow for outdoor storage of watercraft and related items

Site Plan Approval

Representative: Jamie Cacka, Rollie Radtke – RAM Building
Aaron and Angie Bean, Greenwood Marina

Attachments: Application
Plan Set
Site Map
Exterior Elevations
Memo from City Engineer dated October 21, 2021
Email correspondence from Fire Chief dated October 21, 2021

BACKGROUND

Angie and Aaron Bean (Greenwood Marina) have submitted plans for an 11,832 sf watercraft warehouse/storage facility proposed for a combined three parcel site accessed from Tacoma Circle. The Applicant's site build-out plan illustrates four additional 11,832 sf cold storage buildings and a 7,200 sf cold storage building. The Bean's propose to construct the principal facility with office space at this time and store marine items and trailers outdoors until such a construction of an additional facility is warranted.

The Applicants request consideration of a conditional use permit for accessory outdoor storage as provided for under Section 1230.12, Subd. 4; conditional uses in the I-1 Light Industrial District.

The Applicants further request site plan approval.

The City of Norwood Young America is the current fee owner of the subject property. The City has filed companion plat illustrating resubdivision resulting in one (versus three) lots and outlotting an existing public stormwater facility. The City is negotiating a purchase agreement with the Applicants. In addition, the City will be considering vacation of drainage and utility easements on common lot lines. The Planning Commission will make a recommendation to the Council regarding the aforementioned items prior to consideration of the conditional use permit and site plan approval.

GENERAL INFORMATION

Comprehensive Plan:

The 2040 Comprehensive Plan illustrates industrial as the planned land use classification for future development on the subject parcel. The planned use is consistent with the proposed use.

District and Use:

The property is zoned I-1 Light Industrial District. The proposed warehousing use is permitted within the subject district. Surrounding locale is a mix of industrial and undeveloped. The subject parcel abuts Tacoma Boulevard, Tacoma Avenue, and will be accessed from Tacoma Circle.

CONDITIONAL USE PERMIT REQUEST

Applicants represent:

- Principal use of the property proposed is Indoor and outdoor storage of watercraft and watercraft trailers. Outdoor storage is to be limited to existing impervious surfaces. Outdoor storage will not be located on turf surfaces.
- Plans are to provide additional indoor storage as demand dictates.
- Watercraft repair as a subordinate use is also proposed with potential to increase over time.
- Traffic to and from the site will peak in spring and fall.

CUP REVIEW

Section 1210.06, Subd. 3(B)(18) prescribes the following conditions for outdoor storage, reviewer comments are in **red bold, italic type face**:

1. All outdoor storage yards shall be completely screened from roads or developed areas with a solid fence or wall 6 feet or more in height, maintained in good condition, and screened with suitable planting. ***Proposed outdoor storage area screening is suggested as a condition of approval. Berming on the northwest and southwest corners of the subject parcel is represented in the plan set.***
2. No un-screened outdoor storage yards established after the effective date of this Chapter shall be located closer than 500 feet to existing State and Federal roads, nor closer than 100 feet to any other City streets. ***Proposed outdoor storage area screening is suggested as a condition of***

approval. Berming on the northwest and southwest corners of the subject parcel is represented in the plan set.

General Criteria for Approval of Conditional Use Permits

The aforementioned standards relate specifically to outdoor storage. In addition, the Planning Commission is required to examine the request under a series of general standards as set for under Section 1210.06 Conditional Use Permits, Subd. 3(A).

1. The use is consistent with goals, policies and objectives of the Comprehensive Plan.
DISCUSSION: The 2040 NYA Comprehensive Plans guides the subject area to industrial use.
2. The use is consistent with the intent of this Ordinance. **DISCUSSION: Warehousing is allowed as a permitted use in the I-1 District. Accessory outdoor storage is allowed in the I-1 District under CUP.**
3. The use does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements. **DISCUSSION: The proposed use will occur on previously improved lots in the City's industrial park. The subject property is serviced by all municipal services at this time.**
4. The use does not have an undue adverse impact on the public health, safety or welfare.
DISCUSSION: The proposed warehouse storage use will be confined in scope and size by proposed conditions of use permit issuance. Proposed conditional use permit standards will limit adverse impact on the public's health, safety, or welfare.
5. The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, nor substantially diminish and impair property values within the neighborhood. **DISCUSSION: The use as provided for in the City Code and with conditions proposed appears to blend in with the uses within the general locale.**
6. The use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. **DISCUSSION: The subject site a fully improved lot(s) within the City's industrial park.**
7. Adequate utilities, access roads, drainage and necessary facilities have been or will be provided.
DISCUSSION: The subject parcel is an existing, improved lot.
8. Adequate measures have been or will be taken to provide for vehicular and pedestrian safety and convenience to, from and within the site. **DISCUSSION: access to the site is from Tacoma Circle from a designed lot access. The site plan includes appropriate parking and access to the facility. .**
9. The use meets all of the performance criteria requirements as established in Section 1245.01 of this chapter. **DISCUSSION: As a condition of approval, the proposed use shall meet the requirements of Section 1245.01 of the City Code relating to noise, vibration, smoke, particulate matter, odor, etc. Connection to municipal utilities will be required when available as provided for under Chapter 9 of the City Code.**
10. The use shall, in all other respects, conform to the applicable regulations of the district in which it is located. **DISCUSSION: Other performance standards appear to be met.**

Public Hearing:

Notice of public hearing has been published, posted, and mailed to adjacent property owners. As of the drafting of this memo no comment for or against the CUP have been received.

Staff Recommendation:

Staff recommends approval of the Conditional Use Permit with the following conditions:

1. The "Use" of the property is a watercraft and watercraft trailer warehouse and storage facility. The Use includes an 11,832 square foot principal structure and up to four 11,832 sf and one 7,200 sf cold storage structures on a single parcel of record.
2. Conditional use permit approval is contingent on recording of a plat for Tacoma West Industrial Park Fourth Addition.
3. Conditional use permit approval is contingent on approval of a variance for accessory structure height and a site plan and meeting all conditions related to site plan approval.
4. The conditional use permit is effective when recorded at the Carver County Recorder's Office.
5. Maximum outdoor storage shall consist of up to 100 of any combination of watercraft and/or watercraft trailers.
6. Outdoor storage is limited to watercraft and watercraft related trailers and shall only occur on existing dust-free and weed-free surfaces as identified in Surfacing Plan sheet of included with the plan set.
7. Outdoor storage shall be appropriately fenced or screened as directed by the City. Outdoor storage shall be neat and orderly at all times.
8. Watercraft stored on site shall be reasonably licensed and operable during suitable conditions. Junk watercraft and/or salvage storage is prohibited. Watercraft stored outdoors shall be prepared to withstand Minnesota winters without fluid discharge onto impervious surfaces.
9. Upon build out of all buildings proposed outdoor storage shall be reduced to zero of any combination of watercraft and/or watercraft trailers.
10. No outdoor storage shall occur until construction of the principal structure has commenced.
11. This conditional use permit shall expire one year after date of approval unless the Applicant has commenced construction of the principal structure.
12. The conditional use permit shall become void if the use of the property changes from watercraft and watercraft trailer storage to a different use.
13. The conditional use permit may be revoked for failure to meet the conditions included in the conditional use permit and is subject to regular compliance audits/reviews.
14. This approval is subject to all applicable codes, regulations and ordinances, and violation thereof shall be grounds for revocation.

VARIANCE REQUESTS

The Norwood Young America Planning Commission held a public hearing on a variance request related to maximum accessory structure height as submitted by the Applicant:

As depicted in the elevation rendering, the Applicant proposes an accessory structure height of 32 feet. The maximum height allowed under Section 1230.12, Subd. 5(E) is 25 feet.

Variances from the literal provisions of the Code may be approved where the strict enforcement of the provisions would cause practical difficulties because of circumstances unique to the property under consideration. Variances should only be considered if the resulting development will be in harmony with the general purpose and intent of the Zoning Ordinance, and consistent with the comprehensive plan. *Practical difficulties* as used in connection with the granting of a variance means that:

1. The property owner proposed to use the property in a reasonable manner not permitted by the zoning ordinance.

2. The plight of the landowner is due to circumstances unique to the property not created by the landowner, and

3. The variance, if granted, will not alter the essential character of the locality.

Upon the granting of a variance, the City may impose such restrictions and conditions upon the property to ensure compliance and protect the public health, safety and general welfare of adjacent properties. Such restrictions and/or conditions must be directly related to and must bear a rough proportionality to the impact created by the variance.

Proposed Variance: Accessory Structure Height

The Applicant proposes several accessory structures be allowed to have a height of 32 feet; district limit is 25 feet. The additional height allows for accessory structures of the proposed size to meet roof pitch requirements.

Potential findings in favor of the request:

- A. The proposed use is consistent with the Comprehensive Plan and development in the adjacent locale.
- B. The proposed variance is not for the use of property.
- C. The proposed structure is part of watercraft warehouse.
- D. The additional height allows a pitched roof.
- E. The proposed variance is modest in scope and scale.
- F. The proposed variance provides for more efficient development and consumption of land as required under the 2040 Comprehensive Plan.
- G. The proposed building height variance makes development more cost-effective by building up as opposed to building a larger footprint.
- H. The accessory structures are consistent in size and scale to other industrial structures in the adjacent locale and will not negatively impact the essential character of the industrial district.

Potential findings for denial of the request:

- A. The size or shape of the subject parcels could accommodate accessory structure heights meeting code.
- B. Building height is a factor solely under the control of the Applicant and therefore not unique to any given parcel.
- C. The proposed variance could be avoided if the accessory structures were reduced in size.

Public Hearing:

Notice of public hearing has been published, posted, and mailed to adjacent property owners. As of the drafting of this memo no comment for or against the variance request have been received.

Staff Recommendation:

Staff recommends approval of the variances pursuant to aforementioned itemized findings. If the PC considers a recommendation to approve the following conditions are recommended:

1. The "Use" of the property is a watercraft and watercraft trailer warehouse and storage facility. The Use includes an 11,832 square foot principal structure and up to four 11,832 sf and one 7,200 sf cold storage structures on a single parcel of record.
2. Variance approval is contingent on recording of a plat for Tacoma West Industrial Park Fourth Addition.
3. Variance approval is contingent on issuance of a conditional use permit and approval of a site plan and meeting all conditions related to site plan approval.
4. The variances shall expire one year after date of approval unless the Applicant has commenced construction of the principal structure.

SITE PLAN REVIEW

Lot Performance Standards

Light industrial district lot performance standards, with the exception of maximum accessory structure height appear to be met. The maximum impervious surface coverage is limited by previous design/grading to 72%, well under the 80% maximum under Code. Proposed surface coverage appears to be less than 70 percent.

Transportation

Access to the proposed structure is from Tacoma Circle which is classified as a 'local' street and designed to accommodate truck traffic. The Applicant represents traffic to/from site will peak during fall and spring when watercraft are moved to/from lakes. Greenwood Marina staff and watercraft operators will move items to/from the site. The seasonal traffic as represented by the Applicant appears to be of minimal impact on the transportation system. In the event larger volumes of traffic are generated at a point in the future, additional study may be required of the Applicant and/or Property Owner to determine impact on the transportation system.

The site plan illustrates two access points. The northernmost access will be developed with the principal structure. Maximum drive access width, setbacks from lot lines, surfacing, and curbing requirements appear to be met.

The secondary access to be constructed with a future phase of building is illustrated as compacted gravel. Under Section 1250.07(E) all driveway accesses must be hard surfaced and include high back curb.

Parking

The plans illustrate a total of seven parking spaces, including one accessible space. The parking area is proposed to be surfaced with bituminous and include partial B-612 curb. The parking lot is setback a minimum of ten feet from the property line. The volume of parking spaces is consistent with Code requirements. Under Section 1250.09, parking lot and access construction standards, the City Engineer may allow for deviation from required curbing standards in the I-1 District for areas in the side or rear yards.

Architectural Design

Building elevations are attached. Prefinished metal siding is proposed. Neutral colors are proposed for all structures. Zoning code architectural standards do not pertain to the I-1 Light Industrial District.

Restrictive covenants however do apply. The City is not responsible for enforcement of covenants, but as a land owner is a party to the covenants. The covenants also allude to a design review team comprised of specific persons who are to review the proposed construction and make a recommendation to the City Council.

The following specific standards are included in the covenants. Applicant may seek a 'variance' to the covenants. The pursuit of a 'variance' to covenant standards is independent of zoning purview. Property owners 'vote' on 'variances'.

BUILDING EXTERIOR ENCLOSURE MATERIALS

Building exterior enclosure materials shall be attractive in appearance, durable and of a quality, which is compatible with the adjacent structures and consistent with the intent of these covenants.

The front and street side facades shall be face brick, stone, glass, architectural metals or architectural woods, stucco, or EIFS with integral color or finish painting, architecturally treated concrete, cast in place or pre-cast concrete panels, painted decorative concrete block or integral color water repellent treated decorative concrete block or an approved equivalent as determined by the DRT.

Un-faced concrete block, structural concrete, prefabricated metal siding, and the like are prohibited from the front and street side facade areas. The use of these materials elsewhere shall only be in a manner approved by the DRT.

All exterior building materials, which require periodic maintenance, shall be maintained on a regular basis to retain the intent of these covenants as determined by the DRT.

All subsequent additions, outbuildings and screens constructed after the erection of an original building(s) shall be designed in a manner conforming and harmonizing with the original architectural design and general appearance.

Lighting

Building lighting is proposed to be limited to wall-mounted luminaries. Under Code, wall mounted luminaries should not be intended to be used to illuminate parking lots; instead pole lights shall be used in order to minimize off-site glare. The height of wall-mounted luminaries shall not exceed 18 feet above ground level at the building line. Luminaries must face downward and include cutoffs.

Light intensity at common lot lines shall not exceed one-half foot candle and light intensity at right of way boundaries shall not exceed one foot candle.

If overhead lighting is proposed a photometric plan is required.

Landscaping

The Applicant installation of twelve (12) overstory trees and berming at the northeast and northwest corners of the site. Tree species are not identified.

The number of proposed trees appears to meet code for the existing structure.

The City should discuss whether or not additional trees will be required if/when future accessory structures are constructed.

Trees shall be a minimum of 2½ caliper inches, be of species approved by the City, and shall be replaced if they do not survive for two years after planting.

Building/Site Signage

Handicap and no-parking signs are included in the application materials. In the event any additional signage is contemplated, a separate permit is required and the standards contained in Section 1260 (Signs) of the City Code shall apply.

Industrial Use Performance Standards

The use shall be required to meet all performance standards set forth in Section 1245.01 of the City Code. In particular, garbage /refuse area shall be kept in an enclosed building or otherwise hidden from public view by a privacy fenced area.

Utilities, Stormwater, and Erosion Control

The City Engineer has reviewed the site plan. Comments included in a memo from the City Engineer dated October 21, 2021 are hereby incorporated by reference.

ADDITIONAL DEPARTMENT/AGENCY COMMENTS

Public Service Director: The plans have been forwarded to the Public Works Director Tony Voigt for review and comment.

Fire Department: The plans have been forwarded to the Fire Chief Steve Zumberge for review and comment. Comments contained in an email October 21, 2021 are hereby incorporated by reference.

City Engineer: The plans have been forwarded to the City Engineer for review and comment. Comments contained in a review memo dated October 21, 2021 are hereby incorporated by reference.

RECOMMENDATION

After review and discussion, the Planning Commission may consider a MOTION to recommend approval or denial of the site plan to the City Council.

If the Planning Commission recommends denial of the site plan appropriate findings of fact shall be issued.

If the Planning Commission recommends approval of the site plan the following conditions are recommended:

1. The "Use" of the property is a watercraft and watercraft trailer warehouse and storage facility. The Use includes an 11,832 square foot principal structure and up to four 11,832 sf and one 7,200 sf cold storage structures on a single parcel of record.
2. All application materials and plan sets are hereby incorporated by reference and accepted in good faith by the City as the Applicant's intended development, including but not limited to the attached site plan.
3. Approval of a conditional use permit for accessory outdoor storage.
4. Submittal of a revised set of plans illustrating compliance with required conditions of approval.
5. Compliance with all standards required and as set forth within the memo from Consulting Planner, Cynthia Smith Strack, dated November 2, 2021.
6. Compliance with all recommendations as set forth within the memo from John Swanson, Bolton-Menk (City Engineer) dated October 21, 2021.
7. Compliance with the recommendation as set forth within a memo from Fire Chief Steve Zumberge dated October 21, 2021.
8. The secondary access to be constructed with a future phase of building is illustrated as compacted gravel. Under Section 1250.07(E) all driveway accesses must be hard surfaced and include high back curb.
9. High-back perimeter curb shall be installed adjacent to the parking lot as represented in the site plan and on the south side of the parking lot.
10. The height of wall-mounted luminaries shall not exceed 18 feet above ground level at the building line. Luminaries must face downward and include cutoffs. Light intensity at common lot lines shall not exceed one-half foot candle and light intensity at right of way boundaries shall not exceed one foot candle.

11. Trees shall be a minimum of 2½ caliper inches, be species approved by the City, and shall be replaced if they do not survive for two years after planting.
12. The use shall continuously meet all performance standards set forth in Section 1245.01 of the City Code, as may be amended.
13. Garbage /refuse area shall be kept in an enclosed building or otherwise hidden from public view by a privacy fenced area
14. All signage shall require submittal of a sign permit application and approval by the Zoning Administrator and/or Building Official.
15. Building permits shall be required prior to all buildings proposed for construction or improvements on the property.
16. This approval is subject to all applicable codes, regulations and ordinances, and violation thereof shall be grounds for revocation.
17. This approval shall expire one year after date of approval unless the Applicants have commenced construction of the Use on the Property.
18. Approval of this site plan does not approve any future expansion or associated improvements on-site.
19. Any modifications not defined as “minor” pursuant to Section 1210.08, Subd. 4, shall require separate site plan approval.

ACTION

1. The conditional use permit request for outdoor storage of watercraft and trailers is to be acted on prior to consideration of the variance and site plan. The CUP request may be considered in one MOTION. The PC may allude to conditions proposed in this staff memo.
2. The variance request to allow a maximum accessory structure height of 32 feet is to be acted on prior to consideration of the site plan. The variance request may be considered via MOTION. The PC may allude to conditions proposed in this staff memo.
3. The Following review and consideration of the site plan a MOTION to approve/deny the site plan is in order.



Real People. Real Solutions.

2638 Shadow Lane
Suite 200
Chaska, MN 55318-1172

Ph: (952) 448-8838
Fax: (952) 448-8805
Bolton-Menk.com

October 21, 2021

City of Norwood Young America
Attn: Cynthia Smith-Strack
310 W. Elm St.
P.O. Box 59
Norwood Young America, MN 55368

**RE: Greenwood Marina
Site Plan and Plat Review
Project No.: 0C1.124187**

Dear Ms. Smith-Strack:

We have completed an engineering review of the submitted information for the above referenced project. Our review is based on plans bearing the general title "RAM General Contracting, Construction Plans for Greenwood Marina Site Design", dated October 14, 2021, prepared by SHE, and a plat titled Tacoma West Industrial Park 4th Addition, undated, prepared by E.G. Rud & Sons, Inc. We offer the following comments and recommendations for your consideration:

General:

- 1) Our review assumes all improvements proposed will be privately owned and maintained.
- 2) Permits may be required for this project, including but not limited to NPDES Storm Water, CCWMO, and other permits relative to the use of the site as required by appropriate governing agencies, etc. Copies of all required permits shall be submitted.
- 3) The applicant shall submit the amount of additional impervious surface proposed, and verify the existing drainage facilities, including ponding and storm water treatment, on site are adequate to accommodate the proposed improvements. Calculations and verifications shall be submitted to the City and CCWMO.
- 4) The proposed storm sewer from the drive to the pond shall be RCP. The last 3 downstream joints, minimum shall be tied.

City of Norwood Young America
Greenwood Marina
October 21, 2021

- 5) It is recommended the proposed gravel surfaces be paved. The proposed gravel areas appear to function as accesses, driveways, and parking. It is our understanding Code and Development Covenants require these areas to be paved.

In addition, the majority of the site drains directly to the pond. Gravel surfaces generally will increase turbidity, sediment and gravel collecting in the pond, and result in the need for more frequent pond maintenance.

- 6) The Fire Chief should review the plans to determine if a hydrant within the site is warranted.
- 7) Silt fence or a minimum of 2 rows of sod in disturbed areas adjacent to curb is recommended.
- 8) Restoration of the slope to the pond and pond slope for storm sewer installation shall include a minimum of TRM reinforcement mat with seed.
- 9) The presence of existing utilities, if any, located along common lot lines proposed to be vacated should be verified prior to vacation.

Revised plans and requested information should be submitted as addressed herein. We are available to discuss this matter at your convenience.

Sincerely,

Bolton & Menk, Inc.



John K. Swanson

Cc: Karen Hallquist
Jake Saulsbury



Cynthia Smith-Strack <csmithstrack@gmail.com>

Greenwood Marina Project

Steve Zumberge <SteveZ@locherbros.com>
To: Cynthia Smith-Strack <csmithstrack@gmail.com>

Thu, Oct 21, 2021 at 6:06 PM

Cynthia,

Sorry for the delayed response.

Fire will require a fire department key lock-box. The order form will be included with the building permit packet.

Steven Zumberge
Fire Chief
Norwood Young America
PO Box 59
310 Elm St W
Norwood Young America MN 55368
Cell: (507) 469-9145
Office: (952) 467-1806
Email:stevez@locherbros.com

From: Cynthia Smith-Strack [mailto:csmithstrack@gmail.com]
Sent: Saturday, October 16, 2021 12:40 PM
To: Jake Saulsbury; Jay T. Squires; Steve Zumberge; Tony Voigt
Cc: Karen Hallquist
Subject: Fwd: Greenwood Marina Project

Hi Jake, Jay, Steve, and Tony -

[Quoted text hidden]

Greenwood Marina Project

Steve Zumberge <SteveZ@locherbros.com>
To: Cynthia Smith-Strack <csmithstrack@gmail.com>

Thu, Oct 21, 2021 at 7:54 PM

The three existing hydrant will be adequate for this structure.

Sent from my iPhone

On Oct 21, 2021, at 7:46 PM, Cynthia Smith-Strack <csmithstrack@gmail.com> wrote:

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

<image001.jpg>

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Cynthia Smith Strack

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Cynthia Smith Strack



image001.jpg
8K

EXISTING

- RIGHT OF WAY
- PERMANENT EASEMENT
- PROPERTY LINE
- HORIZONTAL CONTROL POINT
- ENCUMBRANCE
- SURVEY MARKER
- SOIL BORING
- SANITARY SEWER AND MANHOLE
- FORCE MAIN AND LIFT STATION
- SANITARY SEWER SERVICE & CLEANOUT
- WATER MAIN, HYDRANT, VALVE AND MANHOLE
- WATER SERVICE AND CURB STOP BOX
- STORM SEWER, MANHOLE AND CATCH BASIN
- CULVERT AND APRON ENDWALL
- GAS MAIN, VALVE, VENT AND METER
- MANHOLE
- BURIED FIBER OPTIC CABLE AND MANHOLE
- BURIED PHONE CABLE, PEDESTAL AND MANHOLE
- BURIED TV CABLE, PEDESTAL AND MANHOLE
- BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
- OVERHEAD WIRE, POLE AND GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL
- STREET NAME SIGN
- SIGN (ON STREET NAME)
- RAILROAD TRACKS
- DECIDUOUS AND CONIFEROUS TREE
- BUSH / SHRUB AND STUMP
- EDGE OF WOODS AREA
- WETLAND
- BUILDING
- FENCE (IDENTIFIED)
- BARRIED WIRE FENCE
- CHAIN LINK FENCE
- ELECTRIC WIRE FENCE
- WOOD FENCE
- WOVEN WIRE FENCE
- PLATE BEAM GUARDRAIL
- CABLE GUARDRAIL
- POST / BOLLARD
- RETAINING WALL

PROPOSED

- STREET CENTERLINE
- RIGHT-OF-WAY
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- CONSTRUCTION LIMITS
- SANITARY SEWER, BUILDHEAD AND MANHOLE
- FORCE MAIN
- SANITARY SERVICE AND CLEANOUT
- WATER MAIN, TEE, HYDRANT, BUILDHEAD AND VALVE
- WATER VALVE, MANHOLE, REDUCER, BEND AND CROSS
- WATER SERVICE AND CURB STOP BOX
- STORM SEWER, MANHOLE AND CATCH BASIN
- CULVERT AND APRON ENDWALL
- DRAIN TILE
- STITCH MANHOLE
- RUPRAP
- STREET NAME SIGN
- SIGN (ON STREET NAME)
- RETAINING WALL

RAM GENERAL CONTRACTING

CONSTRUCTION PLANS FOR

GRADING, UTILITIES, SURFACING, EROSION CONTROL

GREENWOOD MARINA SITE DESIGN



GOVERNING SPECIFICATIONS
THE 2009 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN EXCEPT AS MODIFIED BY THE SPECIFICATIONS FOR THIS PROJECT.

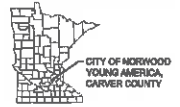
ALL TRAFFIC CONTROL PROCEDURES SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON TEMPORARY TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR IMPROVED TRAFFIC CONTROL, SIGN LAYOUT.

INDEX

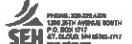
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SITE LAYOUT
3	GRADING PLAN
4	UTILITY LAYOUT
5	SURFACING PLAN
6	EROSION CONTROL PLAN
7-8	DETAILS
9-10	SURVEY

THIS PLAN CONTAINS 10 SHEETS.

PROJECT LOCATION



NORWOOD YOUNG AMERICA, MINNESOTA



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY AN ENGINEER, BY NAME OF SIGNATURE AND THE SEAL AND LICENSE NUMBER OF THE ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

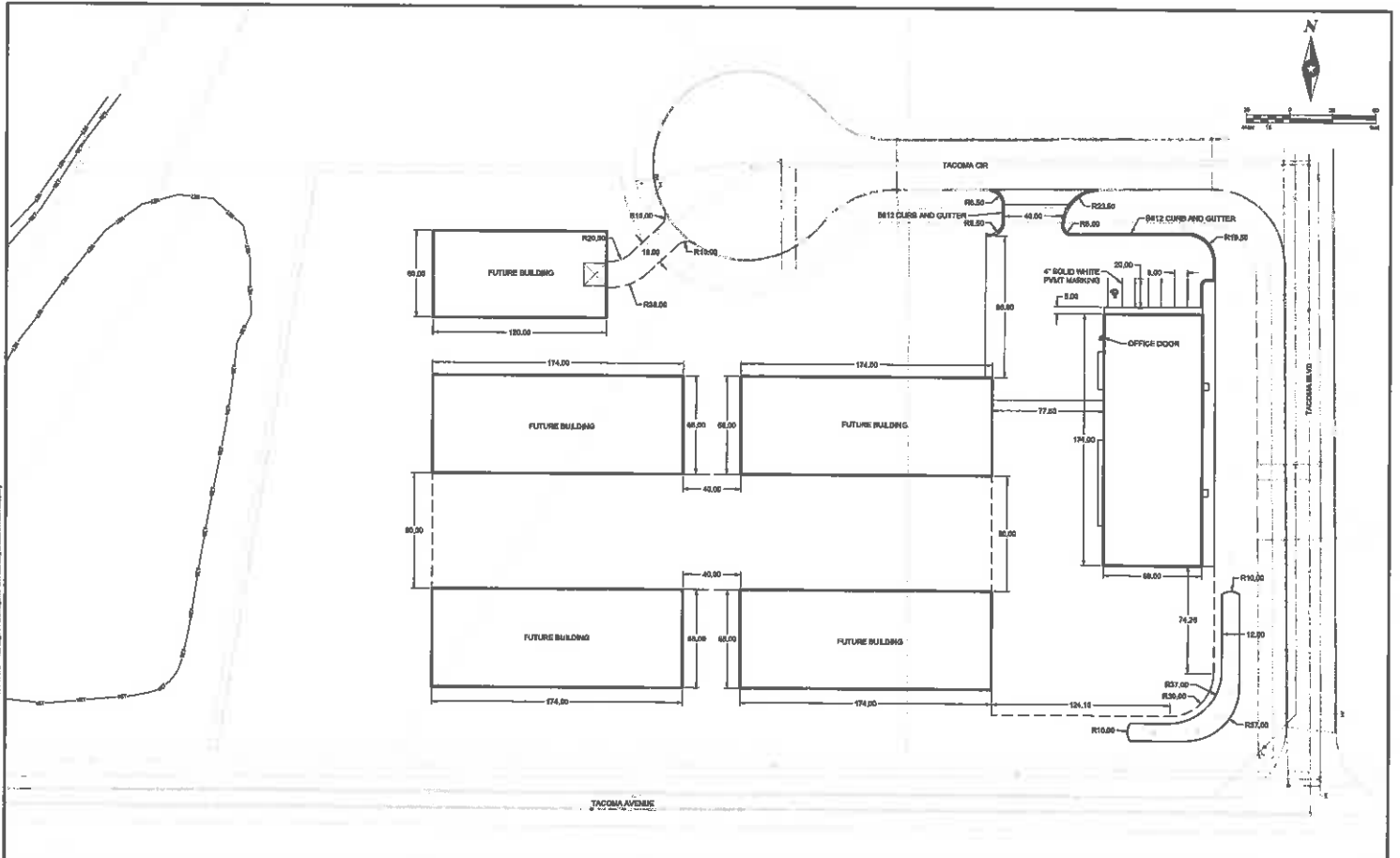
FILE NO. RAMSD-201002
1 of 10

NOTE:
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL-D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHANCE 20-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DESCRIPTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR SHALL CALL THE GOPHER STATE ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.

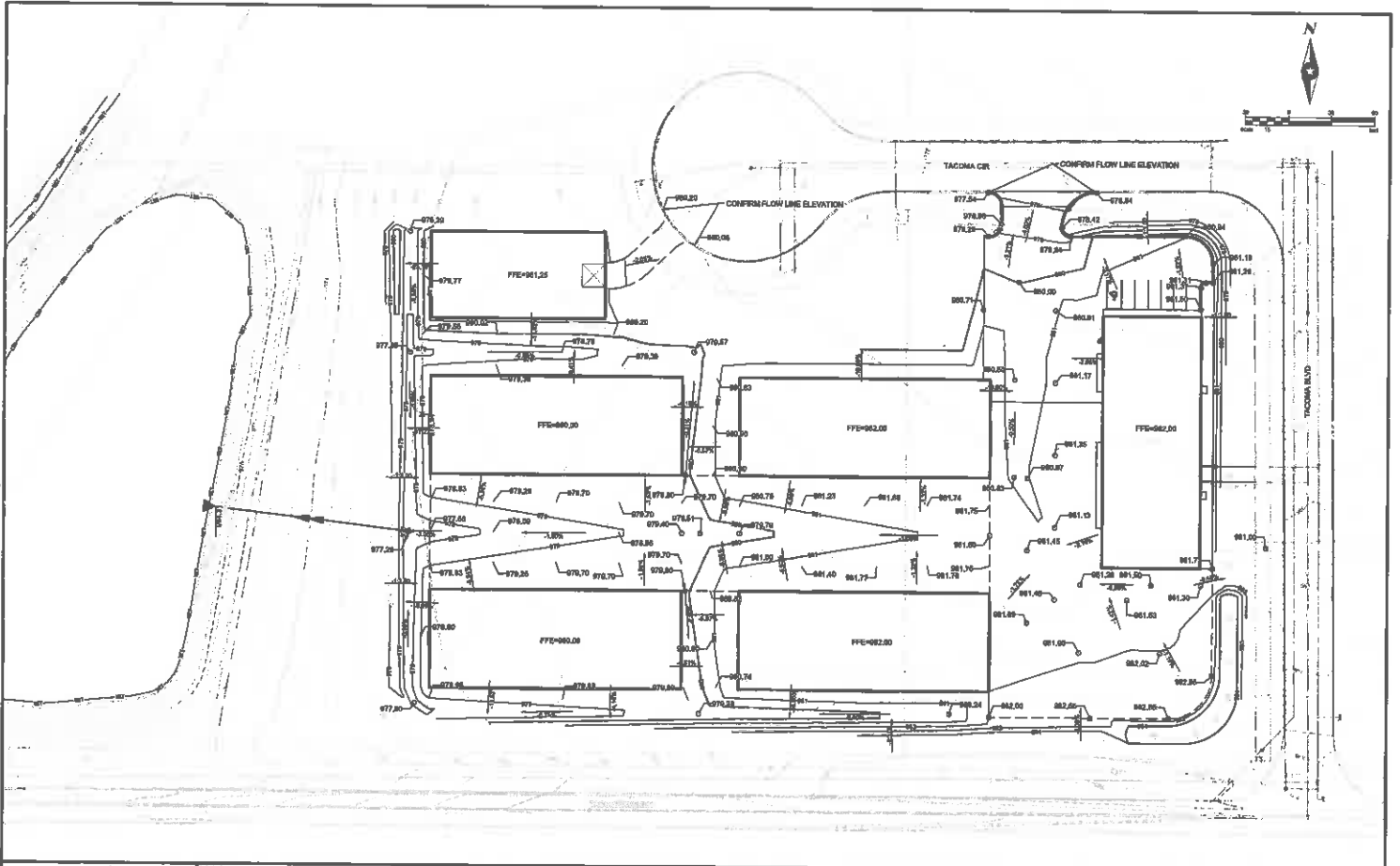


Know what's below.
Call before you dig.

RAM GENERAL CONTRACTING, 1300 25TH AVENUE NORTH, ST. CLOUD, MN 56302-0217, P.O. BOX 217, ST. CLOUD, MN 56302-0217, www.ramgeneralcontracting.com



SHEET NO. 15-0001 DATE: 10/15/2015 PROJECT: GREENWOOD MARINA	Project No. 15-0001 Date: 10/15/2015 Description: GREENWOOD MARINA	Revision No. 1 Description: ISSUED FOR CONSTRUCTION Date: 10/15/2015	Project Name: GREENWOOD MARINA Date: 10/15/2015		I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR IMMEDIATELY UNDER MY SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA. RYAN JENSEN, P.E. LICENSE NO. 42386	GREENWOOD MARINA SITE DESIGN NORWOOD YOUNG AMERICA, MINNESOTA	SITE LAYOUT	2 of 10
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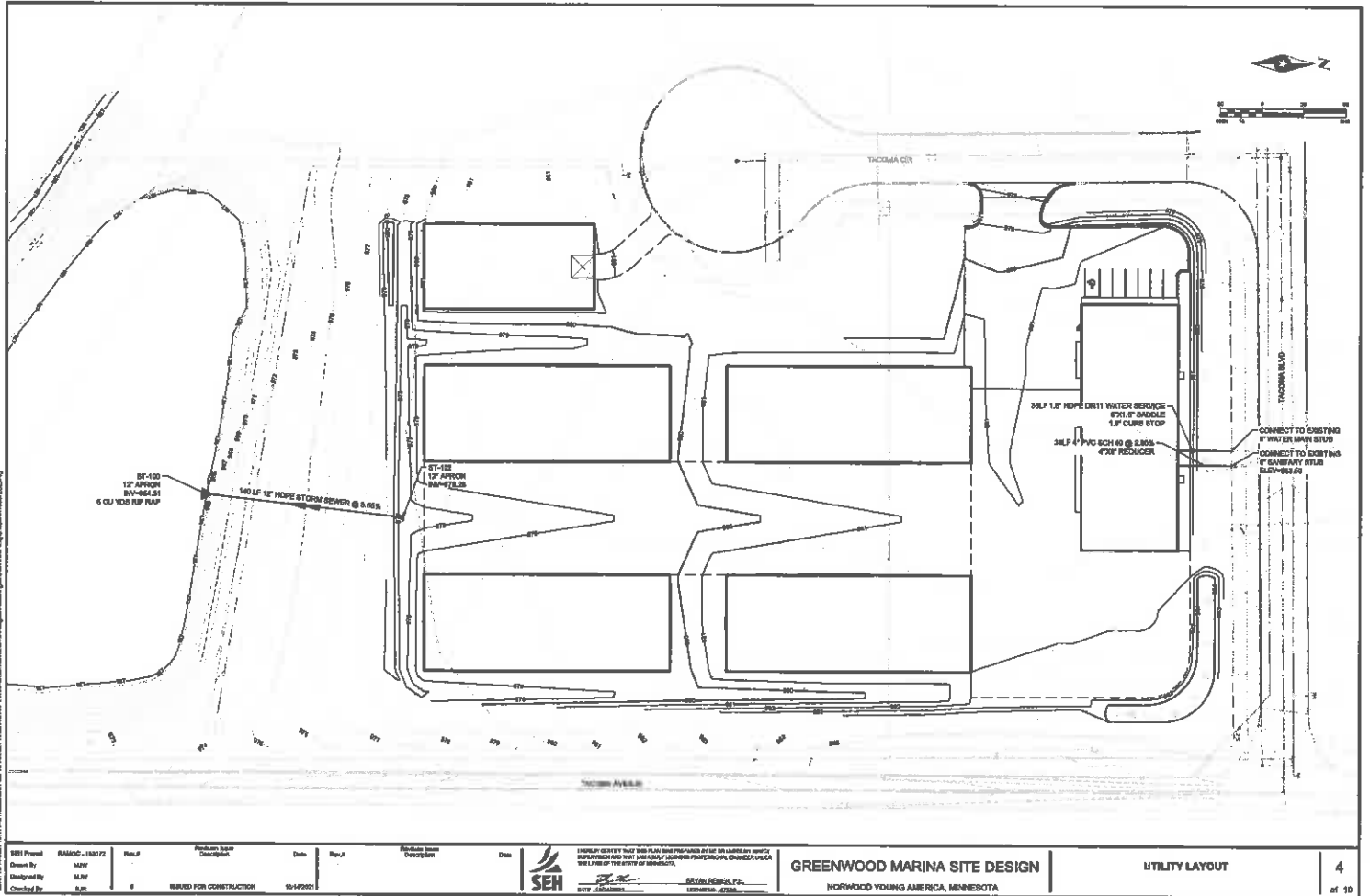


REV	Project	Revision	Date	By	Checked
0	10872	0	10/14/2011	BLW	BLW

Revision	Date	By	Checked
0	10/14/2011	BLW	BLW


 SEN ENGINEERING, INC.
 10000 15th Avenue S.W. • Suite 100 • Bothell, WA 98021
 (206) 485-1100 • www.sen-engineering.com

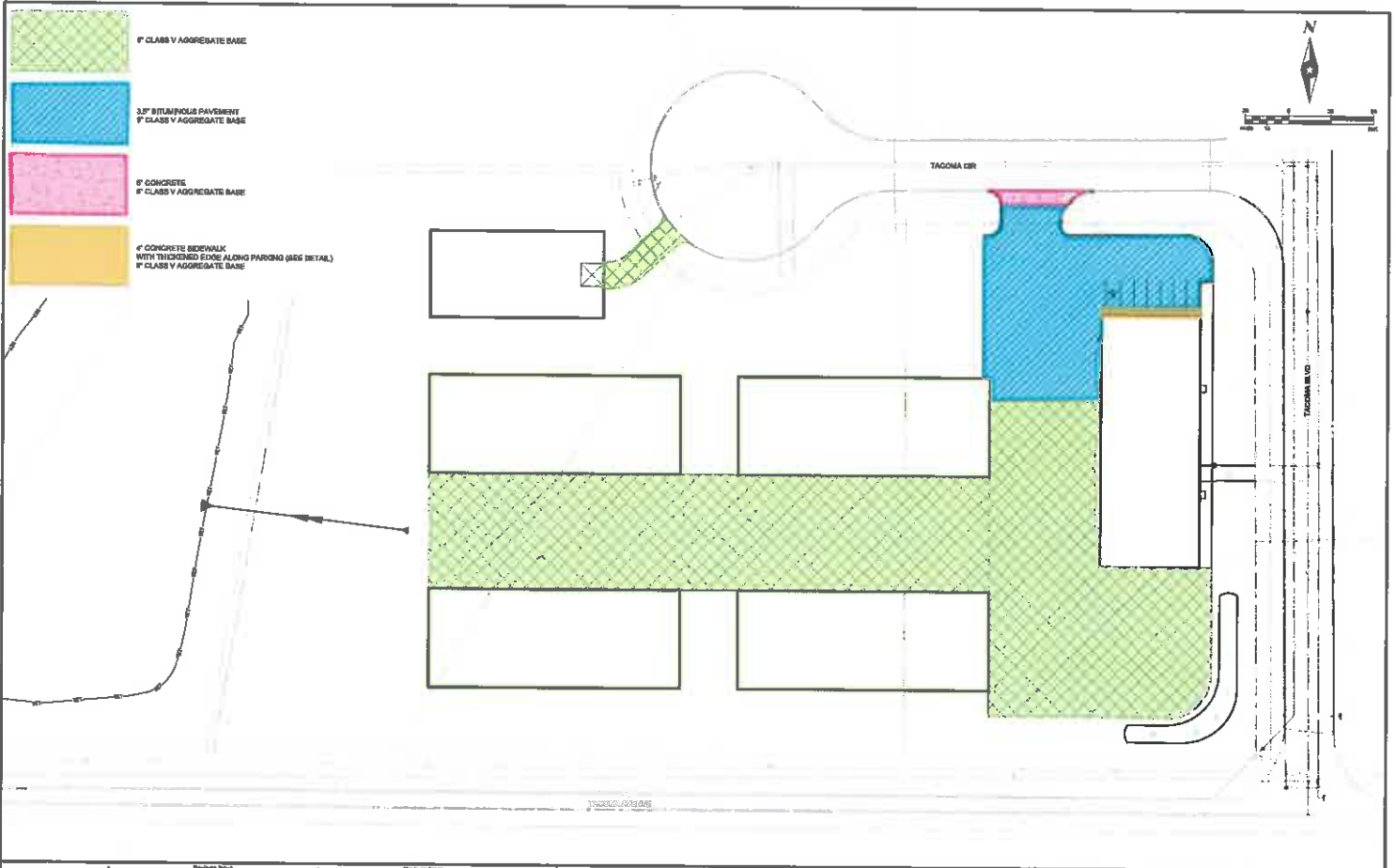
GREENWOOD MARINA SITE DESIGN
 NORWOOD YOUNG AMERICA, MINNESOTA



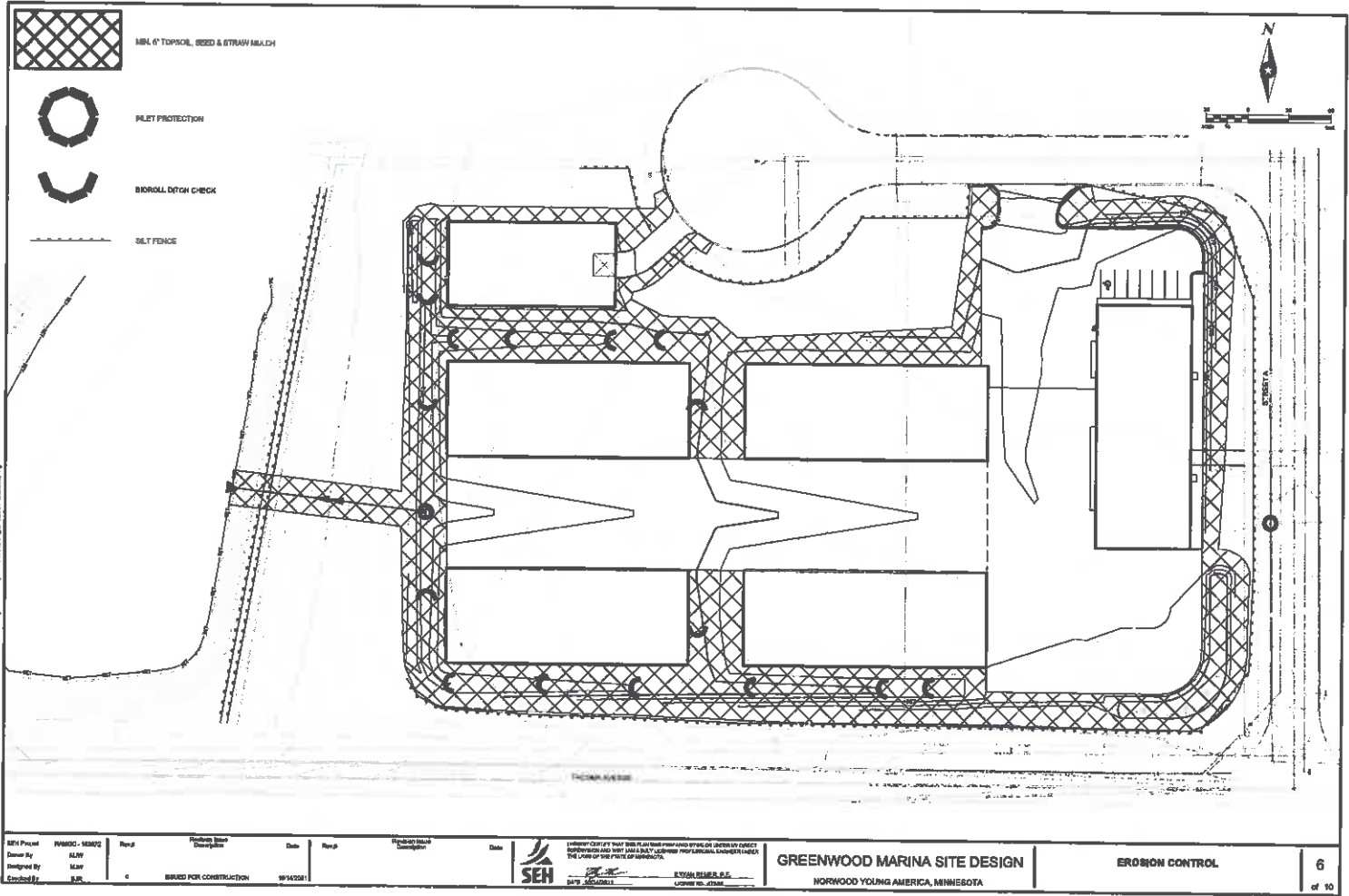
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Drawn By	MMW	Checked By	SLW	Project Name	GREENWOOD MARINA SITE DESIGN
Scale	AS SHOWN	Project No.	143072	Phase	REQUIRED FOR CONSTRUCTION

SEH
 SEVEN SEALS, P.C.
 ENGINEERS, P.C.

GREENWOOD MARINA SITE DESIGN
 NORWOOD YOUNG AMERICA, MINNESOTA



SHEET NO. 181072 PROJECT NO. 181072 DRAWN BY: [Name] CHECKED BY: [Name]	REV. # 0 REVISION: 081820 FOR CONSTRUCTION DATE: 10/14/2018	PROJECT NO. 181072 PROJECT NAME: GREENWOOD MARINA SITE DESIGN DATE: 10/14/2018		DESIGNER: [Name] LICENSE NO. [Number]	GREENWOOD MARINA SITE DESIGN NORWOOD YOUNG AMERICA, MINNESOTA	SURFACING PLAN	5 of 10
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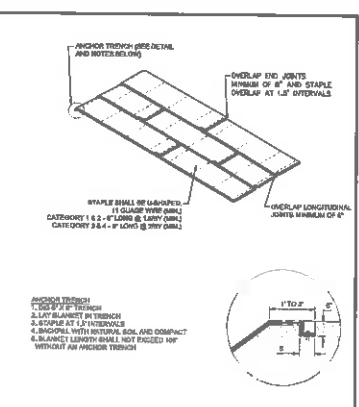
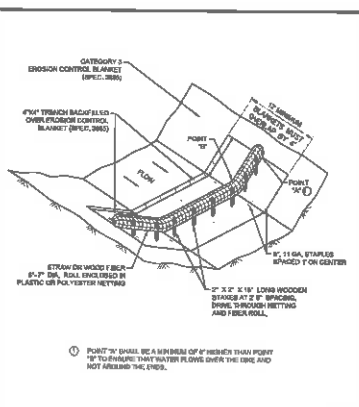
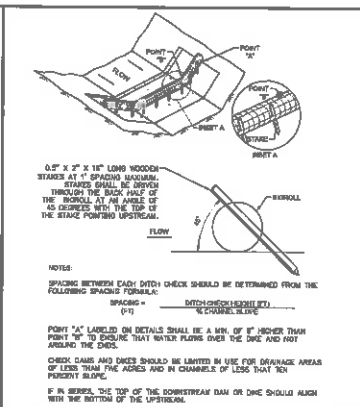
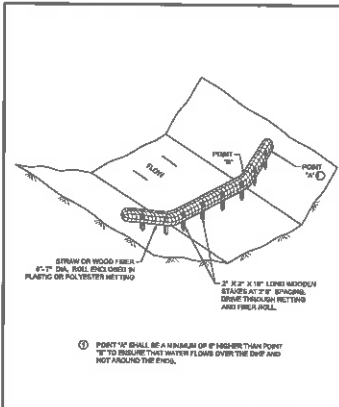


Rev#	Revised Date	Description	Date	Rev#	Revised Date	Description
0		ISSUED FOR CONSTRUCTION	09/14/2011			



 SEH
 ENVIRONMENTAL
 VAUGHAN & HANSEN, P.C.
 10000 15th Avenue
 Golden, CO 80401

GREENWOOD MARINA SITE DESIGN
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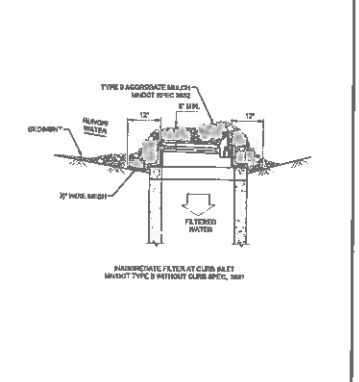
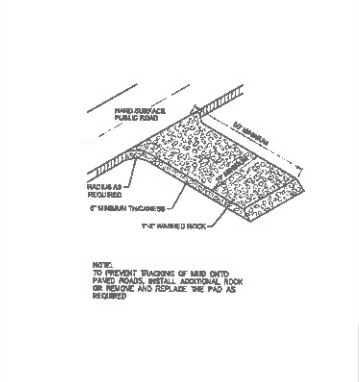
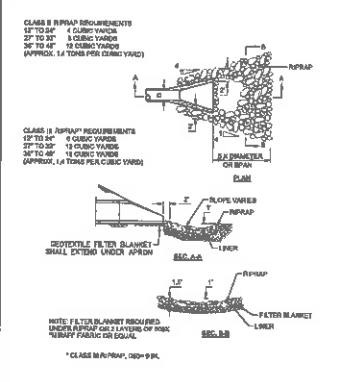
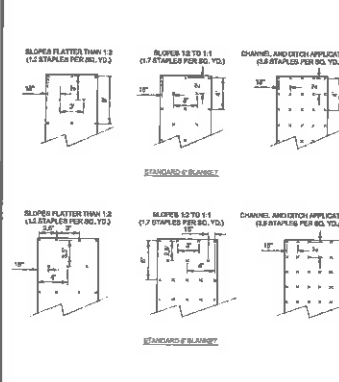


SEH BIOROLL DITCH CHECK Form: 04/2011 ERO-05

SEH BIOROLL STAKING Form: 04/2011 ERO-07

SEH BIOROLL BLANKET SYSTEM Form: 04/2011 ERO-08

SEH BLANKET STAPLING PATTERN (PLATE 1 OF 2) Form: 04/2011 ERO-10



SEH BLANKET STAPLING PATTERN (PLATE 2 OF 2) Form: 04/2011 ERO-12

SEH CLASS B AND RIPRAP AT OUTLETS Form: 04/2011 ERO-23

SEH ROCK CONSTRUCTION ENTRANCE Form: 04/2011 ERO-36

SEH INLET PROTECTION - TYPE B Form: 04/2011 ERO-42



1 PLACE WIRE ALONG SIDE OF PIPE AND NOT DIRECT CONTACT WITH PVC PIPE.

2 LOCATE FOR APPROVED SPLICED-IN CONNECTIONS, TRACER WIRE SHALL BE CONTINUOUS FROM END TO END.

3 SPLICED OR REPAIRED WIRE CONNECTIONS IN THE TRACER WIRE SYSTEM SHALL BE IN ACCORD WITH THE WIRE MANUFACTURER'S INSTRUCTIONS. SPLICED OR REPAIRED WIRE SHALL NOT BE ACCEPTED.

4 TRACER WIRE FOR SERVICES INSTALLED WITH HORIZONTAL DIRECTIONAL DRILLING METHODS SHALL BE SUBJECT TO BUREAU, AGENCY AND CORPORATION APPROVED SPLICED OR REPAIRED WIRE SHALL NOT BE ACCEPTED. SPLICED OR REPAIRED WIRE SHALL NOT BE ACCEPTED.

5 PROVIDE FOR MARGINAL ANGLES AT TRACER WIRE END. REMOVE ANY CORROSION PROTECTIVE PLASTIC COVER AND SUBJECT MATTER AS DIRECTED BY MANUFACTURER.

6 BEST PRACTICE OF CONNECTION IN THE PRESENCE OF THE INSURER. INVESTIGATE CONTINUITY BY CONTACTING A MANUAL OF REPAIRS AT THE SERVICE OF THE SYSTEM AND TRACER WIRE. (PROVIDE THAT THE INSTALLATION, LOCATION AND REPAIR ARE IN ACCORD WITH THE MANUFACTURER'S INSTRUCTIONS.)

1 WHERE NEVER DEPTH EXCEEDS 15 FEET, USE RUBER DETAIL, UNLESS NOTED OTHERWISE ON PLANS.

2 IF GROUND WATER IS PRESENT, CONTRA PIPE UNTIL ABOVE WATER TABLE.

3 ALL SERVICE PIPE, BRICKS, AND WYES SHALL BE 8" OR 12" PVC UNLESS OTHERWISE SPECIFIED.

1 EXTEND TO PROPERTY LINE OR UTILITY EASEMENT LINE (UNLESS NOTED OTHERWISE ON PLANS)

2 MARK SERVICE LOCATION WITH A BRASS T-POST PAINTED BLUE AND A 2" X 4" WOOD POST FROM SERVICE STAKE UP TO FINISHED GRADE FOR LOCATION

3 EXTEND CURB BOX TO FINISHED GRADE

4 CURB STOP

5 PRECAST MANHOLE BLOCK

6 WATER MAIN (LOC. VARYING)

7 WATERMAIN (LOC. VARYING)

8 WATERMAIN (LOC. VARYING)

9 WATERMAIN (LOC. VARYING)

10 WATERMAIN (LOC. VARYING)

NOTE:

1. USE SPEC. FOR SIZE & TYPE OF MATERIALS

2. MINIMUM 1" MINIMUM AT 24" HORIZONTAL SEPARATION BETWEEN CURB & WATER SERVICE LINES

3. PROVIDE CURB BOXES MADE OF CONCRETE OR STAINLESS STEEL WITH A SHORT END SECTION OF 3" STAINLESS STEEL WIRE WITH A 10' MINIMUM WATER.

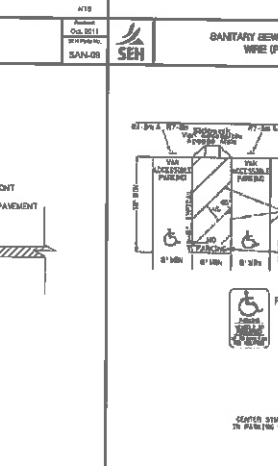
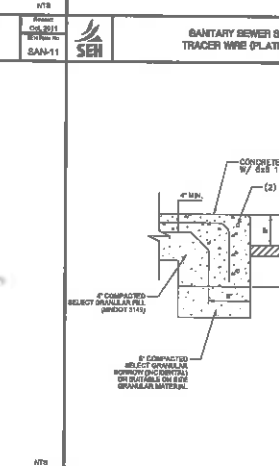
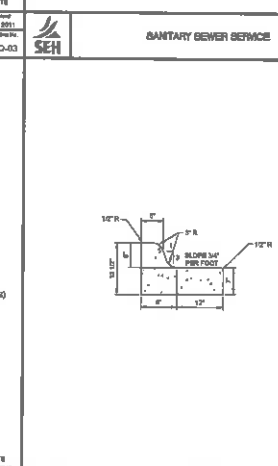
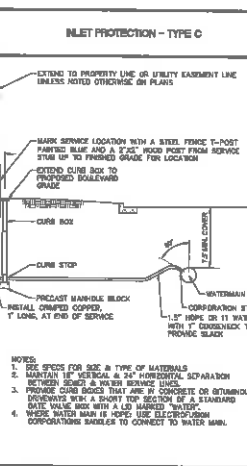
4. WHERE WATER MAIN IS HOPE, USE ELECTRIFICATION CORPORATION BRICKS TO CONNECT TO WATER MAIN.

CONCRETE SIDEWALK 1/4" DIA TO 10" WW

(2) #3 BARS CONT

1" COMPACTED SELECT GRANULAR FILL (SEE SPEC. FOR TYPE)

8" COMPACTED SELECT GRANULAR FILL (SEE SPEC. FOR TYPE) OR MATERIALS ON SIDE WALKWAY MATERIALS



SEH INLET PROTECTION - TYPE C

SEH SANITARY SEWER SERVICE

SEH SANITARY SEWER SERVICE TRACER WIRE (PLATE 1 OF 2)

SEH SANITARY SEWER SERVICE TRACER WIRE (PLATE 2 OF 2)

Project: RAMAD-1-10722

Drawn By: MAM

Checked By: MAM

Closed By: MAM

Date: 10-10-2011

Project: RAMAD-1-10722

Drawn By: MAM

Checked By: MAM

Closed By: MAM

Date: 10-10-2011

Project: RAMAD-1-10722

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SWPPP SUMMARY/REVIEW

THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO ADDRESS THE REQUIREMENTS OF PERMITS 19-0202. THE SWPPP INCLUDES A COMBINATION OF NARRATIVE AND PLAN SHEETS THAT DESCRIBE THE TEMPORARY AND PERMANENT STORM WATER MANAGEMENT PLAN FOR THE PROJECT.

PROJECT INFORMATION:

LOCATION:	NORWOOD YOUNG AMERICA, MINNESOTA
LATITUDE/LONGITUDE:	44°48'48.87"W 89°54'45.11"W
PROJECT DESCRIPTION:	GREENWOOD MARINA SITE DESIGN
SOIL DISTURBING ACTIVITIES:	GRADING, UTILITIES, SURFACING, EROSION CONTROL
CONTACTS:	
OWNER:	X
CONTACT:	X
ADDRESS:	X
PHONE:	X
EMAIL:	X
EMPLOYER:	SHORT ELLIOTT HENDERICKSON INC. (SEH)
CONTACT:	BRYAN ADER
PHONE:	330.491.2626
EMAIL:	BRYAN.ADER@SEHINC.COM
PROJECT NO.:	190979

PERSONS RESPONSIBLE FOR COMPLIANCE:
THE CONTRACTOR SHALL IDENTIFY A PERSON FAMILIAR AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL MEASURES WHO WILL COORDINATE WITH ALL CONTRACTORS, SUBCONTRACTORS, AND OPERATORS ON-SITE TO OVERSEE THE IMPLEMENTATION OF THE SWPPP.

CONTRACTOR:	RAM GENERAL CONTRACTING INC.
CONTACT:	CHAD SAUVOY
PHONE:	330.491.2662
EMAIL:	CHAD@RAMGENERALCONTRACTING.COM

THE CONTRACTOR SHALL ESTABLISH A CHAIN OF RESPONSIBILITY FOR ALL CONTRACTORS AND SUBCONTRACTORS ON-SITE TO ENSURE THE SWPPP IS BEING PROPERLY IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL PROVIDE THE CHAIN OF RESPONSIBILITY TO THE OWNER AND ATTACH TO THE SWPPP PRIOR TO ANY CONSTRUCTION ACTIVITY.

GENERAL SWPPP RESPONSIBILITIES:

THE CONTRACTOR SHALL KEEP THE SWPPP, INCLUDING ALL AMENDMENTS AND INSPECTION AND MAINTENANCE RECORDS ON-SITE DURING CONSTRUCTION.

THE SWPPP WILL BE AMENDED AS NEEDED AND/OR AS REQUIRED BY PROVISIONS OF THE PERMIT. PERMITTERS MUST ADVISE THE OWNER TO INCLUDE ADDITIONAL OR MODIFIED MEASURES NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. AMENDMENTS WILL BE APPROVED BY BOTH THE OWNER AND CONTRACTOR AND WILL BE ATTACHED OR OTHERWISE INCLUDED WITH THE SWPPP DOCUMENTS. THE SWPPP AMENDMENTS SHALL BE DATED, FACILITATED, AND PROCESSED BY THE CONTRACTOR.

ALL SWPPP CHANGES MUST BE DONE BY AN INDIVIDUAL TRAINED IN ACCORDANCE WITH SECTION 214 OR 215. CHANGES INVOLVING THE USE OF A LOSS ESTIMATION BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.

BOTH THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER IMPLEMENTATION AND/OR TRANSFER OF THE PERMIT.

LONG TERM OPERATION AND MAINTENANCE:

THE OWNER WILL BE RESPONSIBLE OR WILL OTHERWISE IDENTIFY WHO WILL BE RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM(S).

THE OWNER WILL PREPARE AND IMPLEMENT A PERMANENT STORMWATER TREATMENT SYSTEMS MAINTENANCE PLAN.



TRAINING DOCUMENTATION:

PREPARED/DESIGNER OF SWPPP:	MAX WATERCOTT
EMPLOYER:	SHORT ELLIOTT HENDERICKSON INC.
DATE OBTAINED / REFRESHED:	OCTOBER 2020
INSTRUCTOR/INSTITUTION PROVIDING TRAINING:	UNIVERSITY OF MINNESOTA

CONTENT OF TRAINING AVAILABLE UPON REQUEST.

THE CONTRACTOR (OPERATORS) SHALL ADD TO THE SWPPP TRAINING RECORDS FOR THE FOLLOWING PERSONNEL:

- INDIVIDUALS OVERSEEING THE IMPLEMENTATION OF, REVISIONS, AND AMENDMENTS TO THE SWPPP
- INDIVIDUALS PERFORMING INSPECTIONS
- INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPs

TRAINING MUST RELATE TO THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES AND SHALL INCLUDE:

- 1) DATES OF TRAINING
- 2) NAME OF INSTRUCTOR(S)
- 3) CONTENT AND ENTITY PROVIDING TRAINING

THE CONTRACTOR SHALL ENSURE THAT THE INDIVIDUALS ARE TRAINED BY LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL ORGANIZATIONS, OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER MANAGEMENT AND THE MINNESOTA APPROVED CONSTRUCTION STORMWATER PERMIT.

PROJECT SUMMARY:

TOTAL DISTURBED AREA:	4.5 AC
PRE-CONSTRUCTION IMPERVIOUS AREA:	8 AC
POST-CONSTRUCTION IMPERVIOUS AREA:	5.3 AC
IMPERVIOUS AREA ADDED:	3.2 AC

RECEIPTS FOR WATERSHED WITHIN ONE MILE FROM PROJECT BOUNDARIES:

ID	NAME	TYPE	SPECIAL WATERSHED	IMPAIRED WATERSHED	CONSTRUCTION RELATED IMPAIRMENT OR SPECIAL WATER CLASSIFICATION	TMDL
07020119-2333	UNNAMED	DITCH	NO	NO	NONE	NA
	X	X	Y/N	Y/N		

ADDITIONAL BMPs AND/OR ACTIONS REQUIRED:

SEE SECTION 22 OF THE PERMIT AND APPLICABLE TMDL WATS.

WATERBODY:	NO WORK DURING	SEE ERM PERMIT FOR MORE INFORMATION
LAKES:	APRIL 1 - JUNE 30	
NON-TROUT STREAMS:	MARCH 15 - JUNE 15	
TROUT STREAMS:	SEPTEMBER 1 - APRIL 1	

SEE SITE INFORMATION FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL NOT RELY ON THIS BOX INFORMATION FOR CONSTRUCTION PURPOSES.

SOIL NAME:	HYDROLOGIC CLASSIFICATION:
GLENDORA CLAY LOAM	C/D
CORDOVA WEATHER COMPLEX	B/D
LESTER LOAM	NA

RELATED PERMITS & PERMITS:

ENVIRONMENTAL WETLANDS, ENDANGERED OR THREATENED SPECIES, ARCHAEOLOGICAL, LOCAL, STATE, AND/OR FEDERAL REVISIONS/PERMITS:

AGENCY:	TYPE OF PERMIT:
NA	NA
X	X

IMPLEMENTATION REQUIREMENTS:

THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS. THE ENGINEER MAY APPROVE ALTERNATIVES TO THE REQUIREMENTS AS NEEDED.

1. INSTALL ROCK CONSTRUCTION ENTRANCES
2. INSTALL PERIMETER CONTROL AND STABILIZE DOWN GRADIENT BOUNDARIES
3. INSTALL EROSION PROTECTION ON EXISTING DITCH BASINS
4. COMPLETE SITE GRADING
5. INSTALL UTILITIES, STORM SEWER, INLET PROTECTION, CURB & GUTTER, PAVING
6. COMPLETE FINAL GRADING AND STABILIZE DISTURBED AREAS
7. AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ACCUMULATED SEDIMENT, REMOVE BMPs, AND RE-STABILIZE ANY AREAS DISTURBED BY THEIR REMOVAL.

THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE SWPPP:
FLOW AND PROFILE PLAN SHEETS
EROSION AND SEDIMENT CONTROL PLAN SHEETS
BMP ESTABLISHMENT PLAN SHEETS
GRADING PLAN SHEETS
DETAIL PLAN SHEETS
SWPPP NOTE AND DETAIL SHEETS
PROJECT SPECIFICATIONS:

TEMPORARY BMP DESIGN FACTORS:

EROSION PREVENTION AND SEDIMENT CONTROL BMPs MUST BE DESIGNED TO ACCOUNT FOR THE EXPECTED FREQUENCY, INTENSITY, AND DURATION OF PRECIPITATION.

THE NATURE OF STORMWATER RUNOFF AND FLOW ON AT THE SITE, INCLUDING FACTORS SUCH AS EXPECTED FLOW FROM IMPERVIOUS SURFACES, BUILOPS, AND SITE DRAINAGE FEATURES.

THE STORMWATER VOLUME, VELOCITY, AND PEAK FLOW RATES TO MINIMIZE DISCHARGE OF POLLUTANTS TO EROSION AND TO MINIMIZE CHANNEL AND STREAMBANK EROSION AND INFLUENCE IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS.

THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT,

TEMPORARY SEDIMENT BASINS:

THE CONTRACTOR SHALL INSTALL ALL TEMPORARY SEDIMENT BASINS INDICATED ON PLANS AND REQUIRED BY THE NPDES CONSTRUCTION PERMIT.

THE TEMPORARY BASIN MUST PROVIDE LIME STORAGE FOR A CALCULATED VOLUME OF RUNOFF FROM A TWO YEAR, 24 HOUR STORM FROM EACH ACRE DRAINED TO THE BASIN OR 1,000 CUBIC FEET OF LIME STORAGE PER ACRE DRAINED, WHICHEVER IS GREATER.

TEMPORARY SEDIMENT BASIN OUTLETS SHALL BE CONSTRUCTED TO PREVENT SHORT-CIRCUITING AND PREVENT THE DISCHARGE OF FLOATING DEBRIS.

OUTLET STRUCTURES MUST BE DESIGNED TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF POLLUTANTS.

BASINS MUST INCLUDE A STABILIZED ENERGY DISSIPATOR, WITHDRAW WATER FROM THE SURFACE AND PROVIDE ENERGY DISSIPATION AT THE OUTLET.

TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED WITH EMERGENCY DRAINAGE AT ANY BASIN OUTLET TO PREVENT SOIL EROSION.

SEDIMENT BASINS MUST BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONES, AND MUST BE DESIGNED TO AVOID THE DRAINING WATER FROM WETLANDS.

PERMANENT STORMWATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT PROVIDED BY OFFSITE REGIONAL STORMWATER POND.

SWPPP Project	19-0202	Rev#	1	Description	Revised/Status	Date	19/09/2021
Drawn By	BMV						
Checked By	SLM						
Checked By	BLR			BUILT FOR CONSTRUCTION			19/09/2021

SEH
 19241
 19241
 19241

GREENWOOD MARINA SITE DESIGN SWPPP 9
 NORWOOD YOUNG AMERICA, MINNESOTA
 of 10

EROSION PREVENTION MEASURES AND TIMING:
THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION MEASURES FOR THE PROJECT.
EROSION PREVENTION MEASURES SHOWN ON PLANS ARE THE ABSOLUTE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL EROSION PREVENTION MEASURES AS NECESSARY TO PROPERLY MANAGE THE PROJECT AREA.
THE CONTRACTOR SHALL PLAN AND IMPLEMENT APPROPRIATE CONSTRUCTION PRACTICES AND CONSTRUCTION PHASING TO MINIMIZE EROSION AND RETAIN VEGETATION WHENEVER POSSIBLE.
THE PERMITTEE SHALL DELINEATE AREAS NOT TO BE DISTURBED. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES.
THE CONTRACTOR SHALL STABILIZE ALL EXPOSED SOILS IMMEDIATELY TO LIMIT SOIL EROSION. IN NO CASE SHALL ANY EXPOSED AREAS, INCLUDING STOCK PILES, HAVE EXPOSED SOILS FOR MORE THAN 14 DAYS WITHOUT PROVIDING TEMPORARY OR PERMANENT STABILIZATION. STABILIZATION MUST BE COMPLETED WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS CEASED. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT CLAY, SILT, OR ORGANIC COMPONENTS DO NOT REQUIRE STABILIZATION.
DRAINAGE PATHS, DITCHES, AND/OR SWALES SHALL HAVE TEMPORARY OR PERMANENT STABILIZATION WITHIN 24 HOURS OF CONSTRUCTION TO A SURFACE WATER OR 34 HOURS AFTER CONSTRUCTION ACTIVITY IN THE DITCH/SWALE HAS TEMPORARILY OR PERMANENTLY CEASED.
THE CONTRACTOR SHALL COMPLETE THE STABILIZATION OF ALL EXPOSED SOILS WITHIN 24 HOURS THAT IS WITHIN 20 FEET OF PUBLIC WATERS OR A DATED "WORK IN WATER RESTRICTION" BY THE MNDNR DURING SPECIFIED FISH SPAWNING TIMES.
THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL BARRS AND VELOCITY DISPATION DEVICES ALONG CONSTRUCTED STORMWATER CONVEYANCE CHANNELS AND OUTLETS.
THE CONTRACTOR SHALL STABILIZE TEMPORARY AND/OR PERMANENT DRAINAGE DITCHES OR SWALES WITHIN OR UNEFT FEET FROM PROPERTY EDGE, OR DISCHARGE POINTS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PROPERTY EDGE.
TEMPORARY OR PERMANENT DITCHES OR SWALES USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.
THE CONTRACTOR SHALL NOT UTILIZE HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES AS A FORM OF STABILIZATION FOR TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALE SECTION WITH A CONVEYANCE SLOPE OF GREATER THAN 1 PERCENT.
THE CONTRACTOR SHALL ENSURE PIPE OUTLETS HAVE TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.
THE CONTRACTOR SHALL DEFLECT DISCHARGES FROM BARRS TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAINTAIN STABILIZATION VELOCITY DISPATION DEVICES MUST BE USED TO PREVENT EROSION WHEN DIRECTING STORMWATER TO VEGETATED AREAS.
SEDIMENT CONTROL MEASURES AND TIMING:
THE CONTRACTOR IS RESPONSIBLE FOR ALL SEDIMENT CONTROL MEASURES FOR THE PROJECT.
SEDIMENT CONTROL MEASURES SHOWN ON PLANS ARE THE ABSOLUTE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL SEDIMENT CONTROL MEASURES AS NECESSARY TO PROPERLY MANAGE THE PROJECT AREA.
THE CONTRACTOR SHALL ENSURE SEDIMENT CONTROL MEASURES ARE ESTABLISHED ON ALL DOWN SLOPES IMMEDIATELY BEFORE ANY UPWARD SLOPES AND DESTABILIZING ACTIVITIES BEGIN. THESE MEASURES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP EXCEPT WHEN WORKING ON A SHOULDER OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY IS COMPLETED, PERMITTEES MUST INSTALL AN UP- AND DOWN-SLOPE CONTROL PRACTICE TO EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
THE CONTRACTOR SHALL REMOVE SEDIMENT CONTROL PRACTICES REMOVED OR ADJUSTED FOR SHORT-TERM ACTIVITIES IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY HAS BEEN COMPLETED. SEDIMENT CONTROL PRACTICES MUST BE REINSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETED.
THE CONTRACTOR SHALL ENSURE STORM DRAIN INLETS ARE PROTECTED BY APPROPRIATE BMPs DURING CONSTRUCTION. ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED.
THE CONTRACTOR SHALL PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROL AT THE BASE OF THE STOCKPILES.
THE CONTRACTOR SHALL INSTALL PERIMETER CONTROL AROUND ALL STAGING AREAS, BORROW PITS, AND AREAS CONSIDERED ENVIRONMENTALLY SENSITIVE.
THE CONTRACTOR SHALL ENSURE VEHICLE TRACKING IS MINIMIZED WITH EFFECTIVE BMPs. WHERE THE BMPs FAIL TO PREVENT SEDIMENT FROM TRACKING ONTO STREETS THE CONTRACTOR SHALL CONDUCT STREET SWEEPING TO REMOVE ALL TRACKED SEDIMENT.
THE CONTRACTOR SHALL IMPLEMENT CONSTRUCTION PRACTICES TO MINIMIZE SOIL COMPACTION.
THE CONTRACTOR SHALL ENSURE ALL CONSTRUCTION ACTIVITY REMAIN WITHIN PROJECT LIMITS AND THAT ALL IDENTIFIED RECEIVING WATER OUTLETS ARE MAINTAINED.

RECEIVING WATER	NATURAL BUFFER	IS THE BUFFER BEING ENCRAGED ON?	REASON FOR DIFFER ENCRAGEMENT
UNPAVED DITCH	NA	NA	NA

A 10 FOOT NATURAL BUFFER MUST BE PRESEVED OR PROVIDE REDUNDANT (DOUBLE) PERMETER SEDIMENT CONTROL.
THE CONTRACTOR SHALL NOT UTILIZE SEDIMENT CONTROL CHEMICALS ON SITE.
INSPECTION AND MAINTENANCE:
ALL INSPECTIONS, MAINTENANCE, REPAIRS, REPLACEMENTS, AND REMOVAL OF BMPs IS TO BE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS.
THE PERMITTEE IS RESPONSIBLE FOR COMPLETING SITE INSPECTIONS, AND BMP MAINTENANCE TO ENSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS.
THE PERMITTEES SHALL INSPECT THE CONSTRUCTION SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
THE PERMITTEES SHALL DOCUMENT A WRITTEN SUMMARY OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES CONDUCTED WITHIN 24 HOURS OF OCCURRENCE. RECORDS OF EACH ACTIVITY SHALL INCLUDE THE FOLLOWING:
-DATE AND TIME OF INSPECTIONS;
-NAME OF PERSONNEL CONDUCTING INSPECTION;
-CORRECTIVE ACTIONS TAKEN;
-DATE AND AMOUNT OF RAINFALL EVENTS;
-POINTS OF DISCHARGE OBSERVED DURING INSPECTION AND DESCRIPTION OF THE DISCHARGE
-ADJUSTMENTS MADE TO THE SWPPP.
THE PERMITTEE SHALL SUBMIT A COPY OF THE WRITTEN INSPECTIONS TO THE ENGINEER AND OWNER ON A MONTHLY BASIS. IF MONTHLY INSPECTION REPORTS ARE NOT SUBMITTED, MONTHLY PAYMENTS MAY BE HELD.
THE CONTRACTOR SHALL DOCUMENT AMENDMENTS TO THE SWPPP AS A RESULT OF INSPECTIONS WITHIN 7 DAYS.
THE CONTRACTOR SHALL KEEP THE SWPPP, ALL INSPECTION REPORTS, AND AMENDMENTS ON SITE. THE CONTRACTOR SHALL DESIGNATE A SPECIFIC ON-SITE LOCATION TO KEEP THE RECORDS.
THE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY BMPs, AS WELL AS EROSION AND SEDIMENT CONTROL BMPs.
THE CONTRACTOR SHALL INSPECT EROSION PREVENTION AND SEDIMENTATION CONTROL BMPs TO INSURE INTENSITY AND EFFECTIVENESS. ALL NONFUNCTIONAL BMPs SHALL BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPs WITHIN 24 HOURS OF FINDING. THE CONTRACTOR SHALL INVESTIGATE AND COMPLY WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS:
PERMETER CONTROL DEVICES, INCLUDING S&Y FENCE SHALL BE REPAIRED, OR REPLACED, WHEN THEY BECOME NONFUNCTIONAL. IF THE SEDIMENT RESOURCES 1/2 OF THE DITCH HEIGHT, THESE REPAIRS SHALL BE MADE WITHIN 24 HOURS OF DISCOVERY.
TEMPORARY AND PERMANENT SEDIMENT BASINS SHALL BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 75% OF THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY.
SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF EROSION AND BEDDING DEPOSITION. THE CONTRACTOR SHALL REMOVE ALL SEDS AND SEDIMENT DEPOSITED TO IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS. THE CONTRACTOR SHALL RE-STABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN 7 DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR FEDERAL CONTRACTORS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND OBTAIN ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.
CONSTRUCTION SITE VEHICLE EXIT LOCATIONS SHALL BE INSPECTED DAILY FOR EVIDENCE OF SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL PAVED SURFACES WITHIN 24 HOURS OF DISCOVERY.
IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, ON-SITE ACCUMULATIONS OF SEDIMENT MUST BE REDUCED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE ON-SITE IMPACTS.
EROSION PREVENTION BMP SUMMARY:
SEE EROSION AND SEDIMENT CONTROL PLAN SHEET AND BID FORM FOR TYPE, LOCATION, AND QUANTITY OF EROSION PREVENTION BMPs.
SEDIMENT CONTROL BMP SUMMARY:
SEE EROSION AND SEDIMENT CONTROL PLAN SHEETS AND BID FORM FOR TYPE, LOCATION, AND QUANTITY OF SEDIMENT CONTROL BMPs.

DEWATERING AND BASIN DRAINING ACTIVITIES:
THE CONTRACTOR IS RESPONSIBLE FOR ADDRESSING TO ALL DEWATERING AND SURFACE DRAINAGE REGULATIONS.
WATER FROM DEWATERING ACTIVITIES SHALL DISCHARGE TO A TEMPORARY AND/OR PERMANENT SEDIMENT BASIN.
IF WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN, IT SHALL BE TREATED WITH OTHER APPROPRIATE BMPs, TO EFFECTIVELY REMOVE SEDIMENT.
DISCHARGE THAT CONTAINS OIL OR OTHERS MUST BE TREATED WITH AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE PRIOR TO DISCHARGE.
WATER FROM DEWATERING SHALL BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION, OR DRAINAGE OF WETLANDS.
BACKHOPE WATER USED FOR FILTERS SHALL BE HAULED AWAY FOR DISPOSAL, RETURNED TO THE SOURCE OF TREATMENT PROCESS, OR INCORPORATED INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. THE CONTRACTOR SHALL REPLACE AND CLEAN FILTER MEDIA USED IN DEWATERING DEVICES IMMEDIATELY TO MAINTAIN ADEQUATE FUNCTION.
EQUILIBRIUM PREVENTION MEASURES:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION PREVENTION MEASUREMENTS. ALL POLLUTION PREVENTION MEASURES ARE CONSIDERED INCIDENTAL TO THE MOBILIZATION BID ITEM UNLESS OTHERWISE NOTED.
THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL IN COMPLIANCE WITH MPCA DISPOSAL REQUIREMENTS OF ALL HAZARDOUS MATERIALS, SOLID WASTE, AND PRODUCTS ON-SITE.
THE CONTRACTOR SHALL ENSURE BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEAK POLLUTANTS ARE KEPT UNDER COVER TO PREVENT THE DISCHARGE OF POLLUTANTS.
THE CONTRACTOR SHALL ENSURE PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS ARE COVERED TO PREVENT THE DISCHARGE OF POLLUTANTS.
THE CONTRACTOR SHALL ENSURE HAZARDOUS MATERIALS AND TOXIC WASTE IS PROPERLY STORED IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE OR HAZARDOUS MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
THE CONTRACTOR SHALL ENSURE ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
THE CONTRACTOR SHALL ENSURE PAINT CONTAINERS AND CURING COMPOUNDS SHALL BE TIGHTLY SEALED AND RETURNED WHEN NOT REQUIRED FOR USE. EXCESS PAINT AND/OR CURING COMPOUNDS SHALL NOT BE DISCHARGED INTO THE STORM SEWER SYSTEM AND SHALL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTION.
THE CONTRACTOR SHALL ENSURE SOLID WASTE BE STORED, COLLECTED AND DISPOSED OF PROPERLY IN COMPLIANCE WITH MINN. R. CH. 7035.
THE CONTRACTOR SHALL ENSURE POTABLE TOILETS ARE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR OVERLOOKED OVER. SANITARY WASTE MUST BE DISPOSED OF PROPERLY IN ACCORDANCE WITH MINN. R. CH. 7041.
THE CONTRACTOR SHALL MONITOR ALL VEHICLES ON-SITE FOR LEAKS AND RECEIVE REGULAR PREVENTION MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
THE CONTRACTOR SHALL ENSURE HAZARD WASTE MUST CONTACT THE GROUND AND BE PROPERLY DISPOSED OF IN COMPLIANCE WITH MPCA RULES.
THE CONTRACTOR SHALL INCLUDE SPILL KITS WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES. SECONDARY CONTAINMENT MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.
THE CONTRACTOR SHALL MONITOR ALL VEHICLES ON-SITE FOR CONTAMINATED AND CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILL KITS SHALL BE USED TO REACH THE STORM WATER CONVEYANCE SYSTEM SHALL BE REPORTED TO THE MINNESOTA DUTY OFFICER AT 1.800.622.0796.
PERMIT TERMINATION CONDITIONS:
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING FINAL STABILIZATION OF THE ENTIRE SITE. PERMIT TERMINATION CONDITIONS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED.
ALL EXPOSED SOILS HAVE BEEN UNIFORM STABILIZED WITH AT LEAST 70% VEGETATION COVER.
PERMANENT STORM WATER MANAGEMENT SYSTEM(S) ARE CONSTRUCTED AND ARE OPERATING AS DESIGNED.
ALL DRAINAGE DITCHES, PONDS, AND ALL STORM WATER CONVEYANCE SYSTEMS HAVE BEEN CLEARED OF SEDIMENT AND STABILIZED WITH PERMANENT COVER TO PRECLUDE EROSION.
ALL TEMPORARY SYNTHETIC BMPs HAVE BEEN REMOVED AND PROPERLY DISPOSED OF.
IN RESIDENTIAL CONSTRUCTION, INDIVIDUAL LOTS ARE CONSIDERED FINALLY STABILIZED IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PROTECTION AND CONVEYANCE PERMITS CONTROL HAS BEEN COMPLETED, THE RESIDENCE HAS BEEN SOLD TO THE HOMEOWNER, AND THE HOMEOWNER HAS PROVIDED A "HOMEOWNER FACT SHEET" BY THE CONTRACTOR.
AGRICULTURAL LAND DISTURBED HAS BEEN RETURNED TO ITS PRECONSTRUCTION AGRICULTURAL USE.

Set / Rev

DATE	BY	DESCRIPTION
11/21/24	MW	ISSUED FOR CONSTRUCTION
10/14/2021	MW	
08/12/21	MS	

Project Area

DATE



SEH
ENVIRONMENTAL SERVICES

DATE: 11/21/24

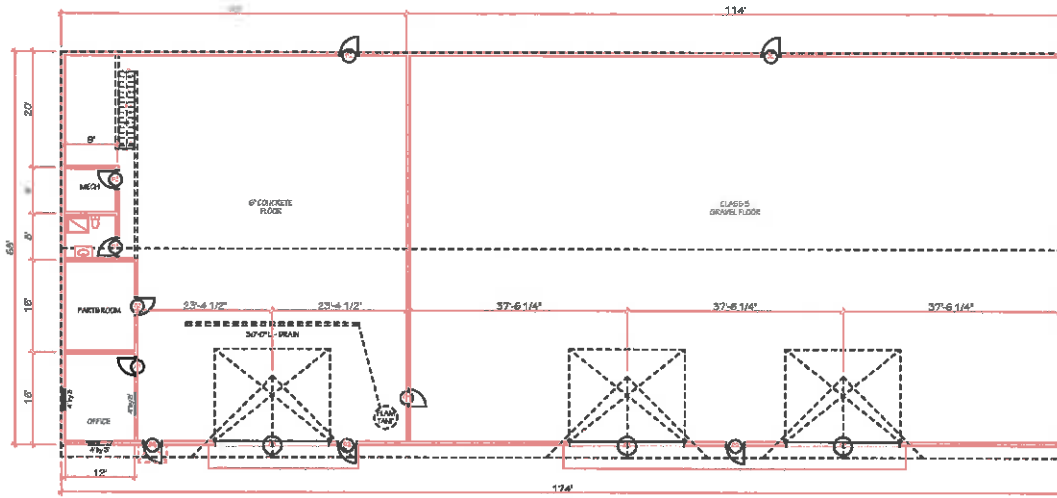
GREENWOOD MARINA SITE DESIGN

NORWOOD YOUNG AMERICA, MINNESOTA

SWPPP

10

of 10



1 1st FLOOR PLAN
 3 SCALE: 1/16" = 1'-0"

Element ID	DOOR TYPES		
	D1	D2	D3
Quantity	1	9	3
DOOR			
DIMENSIONS	3'-6"-8"	3'-6"-9"	20'-6"
REMARKS	HAIF LIGHT	SOLID	

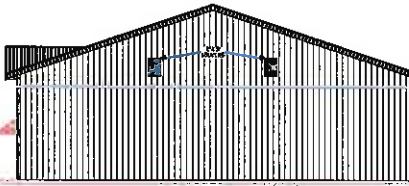
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DRAWN BY: S.K.
 DATE: 10/14/2021
 SHEET 1 OF 2

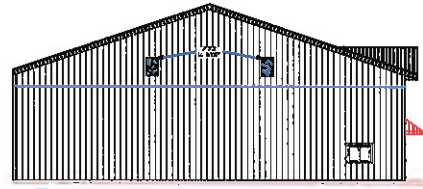
PROJECT NAME: GREENWOOD MARINA
 PROJECT NUMBER: NORWOOD YOUNG AMERICA, MN
 BUILDING DESCRIPTION: 174'-0" X 68'-0" X 18'-0"
 DESIGN NUMBER:

260 Industrial Drive
 Winnetka, Minnesota 55795
 Tel: 763-274-2244 Fax: 763-274-2225
 130-485-2444
 Contract/Project Number: 20170706

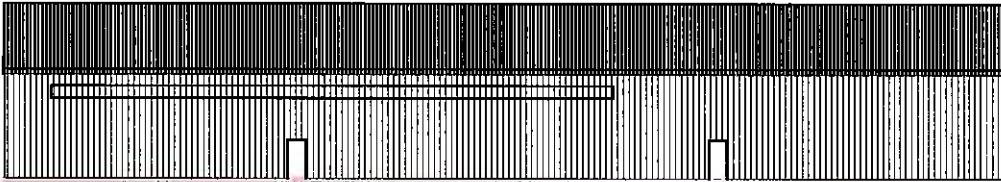
RAM CONSTRUCTION SERVICES
 A DIVISION OF
 RAM GENERAL CONTRACTING INC.



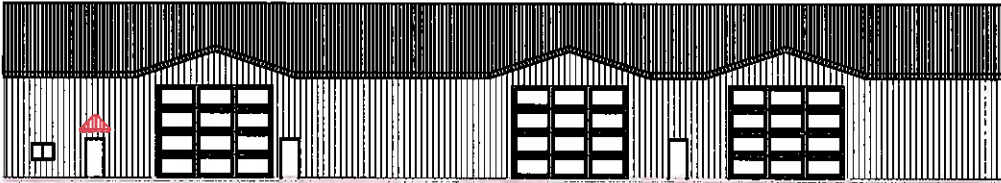
1 EAST ELEVATION
4 SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
4 SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION
4 SCALE: 1/16" = 1'-0"



3 SOUTH ELEVATION
4 SCALE: 1/16" = 1'-0"

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PROJECT NAME:	GREENWOOD MARINA
PROJECT NUMBER:	NORWOOD YOUNG AMERICA, MN
BUILDING DESCRIPTION:	174'-0" X 68'-0" X 18'-0"
DESIGN NUMBER:	
DRAWN BY:	S.K.
DATE:	10/14/2021
SHEET:	2 OF 2

181 - 1st St NW Wood, Minnesota 55395 313-491-2144 800-794-6276 www.ramgeneral.com Contractor License Number 2917795	
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This map was created using Carver County's Geographic Information Systems (GIS), it is a compilation of information and data from various City, County, State, and Federal offices. This map is not a surveyed or legally recorded map and is intended to be used as a reference. Carver County is not responsible for any inaccuracies contained herein.

Map Date: 10/16/2021



To: Chairperson Heher
Members of the Planning Commission
Acting Administrator Brumbaugh

From: Cynthia Smith Strack, Consulting Planner

Date: November 3, 2021

Re: Public Hearing: Ordinance Pertaining to Sports Court, Home Recreation Facilities, or Home Sports Facilities.

BACKGROUND

At the September meeting the PZC called for a public hearing on the attached Ordinance relating to sport courts, home recreation facilities, and home sports facilities.

The following are highlights of the proposed code amendment:

1. Update zoning code definitions to include sport courts,
2. List sport courts, tennis courts, home recreational facilities, and home sports facilities as permitted accessory uses in the R-1, R-2, R-3 and R-4 residential districts and the RC-1 Residential Neighborhood Commercial District.
3. Require an administrative permit and site plan for sport courts.
4. Require such facilities be in side or rear yards and setback at least 10 feet from any property line or overhead/underground utility line and be free of easements.
5. Be included and meet lot coverage requirements.
6. Allowed to have walls up to 10 feet in height, fences up to 12 feet in height. Building permits may be needed.
7. Subjects such uses to lighting standards and nuisance code, including relating to noise.

Notice of public hearing has been posted and published. No comment for or against the draft has been received as of the drafting of this memo.

ACTION

The Commission is to hold a public hearing and make a recommendation to the City Council. A MOTION to approve the proposed ordinance pertaining to sport courts, home recreation facilities, and home sport facilities may be in order.

**CITY OF NORWOOD YOUNG AMERICA
ORDINANCE NO. 343**

**AN ORDINANCE AMENDING: CHAPTER 1200.04, DEFINITIONS, AND
CHAPTERS 1230.04-1230.07, RESIDENTIAL ZONING DISTRICTS,
SECTION 1230.08, RESIDENTIAL NEIGHBORHOOD COMMERCIAL
DISTRICT, AND ADDING SECTION 1245.12 TO PROVIDE FOR SPORT
COURTS, HOME RECREATION FACILITIES, AND HOME SPORTS
FACILITIES**

I. THE CITY COUNCIL OF THE CITY OF NORWOOD YOUNG AMERICA, MINNESOTA TO PROMOTE THE PUBLIC SAFETY, HEALTH, AND WELFARE, HEREBY ORDAINS:

II. SECTION 1200.04 SHALL BE AMENDED TO INCLUDE THE FOLLOWING DEFINITION:

Sport Court, home recreation facility, or home sports facility. A detached, private, residential recreational facility on the same lot as the principal residential use and designed to be used primarily by the occupant of the principal use and their guests.

III. SECTION 1230.04, SUBD. 3(B) R-1 LOW DENSITY SINGLE FAMILY RESIDENTIAL DISTRICT PERMITTED ACCESSORY USES SHALL BE AMENDED AS FOLLOWS:

B. Swimming pools subject to Section 1245.06; sport courts, tennis courts, home recreation facilities, and home sports facilities, subject to Section 1245.12, and other recreational facilities, ~~subject to Section 1245.06~~

IV. SECTION 1230.05, SUBD. 3(B) R-2 MEDIUM DENSITY SINGLE FAMILY RESIDENTIAL DISTRICT PERMITTED ACCESSORY USES SHALL BE AMENDED AS FOLLOWS:

B. Swimming pools subject to Section 1245.06; sport courts, tennis courts, home recreation facilities, and home sports facilities, subject to Section 1245.12, and other recreational facilities, ~~subject to Section 1245.06~~

V. SECTION 1230.06, SUBD. 3(B) R-3 MEDIUM DENSITY MIXED RESIDENTIAL DISTRICT PERMITTED ACCESSORY USES SHALL BE AMENDED AS FOLLOWS:

B. Swimming pools subject to Section 1245.06; sport courts, tennis courts, home recreation facilities, and home sports facilities, subject to Section 1245.12, and other recreational facilities, ~~subject to Section 1245.06~~

VI. SECTION 1230.07, SUBD. 3(B) R-4 MULTIPLE FAMILY RESIDENTIAL DISTRICT PERMITTED ACCESSORY USES SHALL BE AMENDED AS FOLLOWS:

B. Swimming pools subject to Section 1245.06; sport courts, tennis courts, home recreation facilities, and home sports facilities, subject to Section 1245.12, and other recreational facilities, ~~subject to Section 1245.06~~

VII. SECTION 1230.08, SUBD. 3 RC-1 RESIDENTIAL NEIGHBORHOOD COMMERCIAL DISTRICT PERMITTED ACCESSORY USES SHALL BE AMENDED BY ADDING THE FOLLOWING:

H. Swimming pools subject to Section 1245.06; sport courts, tennis courts, home recreation facilities, and home sports facilities, subject to Section 1245.12, and other recreational facilities.

VIII. SECTION 1245.12 SHALL BE ADDED TO THE CITY CODE AS FOLLOWS:

1245.12 Sport Courts, Tennis Courts, Home Recreation Facilities, and Home Sports Facilities.

Subd. 1 Administrative Permit Required. An administrative permit is required for the installation of detached sport courts, tennis courts, home recreation facilities, and home sports facilities.

- A. The fee for the administrative permit shall be based on the City fee schedule.
- B. The administrative permit shall include two sets of plans drawn to scale that show in sufficient detail the following:
 - 1. The proposed sport court, tennis court, home sports facility, or home recreation facility location and its relationship to the other principal buildings on the lot and on adjacent properties.
 - 2. The size of the sport court tennis court, home sports facility, or home recreation facility.
 - 3. Fencing and other fixtures existing on the lot, such as utility location, and trees.

4. The location, size and a statement as to the types of equipment to be used in connection with the sport court, tennis court, home sports facility, or home recreation facility.

Subd. 2 Setbacks Required.

- A. A sport court, tennis court, home sports facility, or home recreation facility may be placed in side and rear yards but not in front of the building wall of the principal structure.
- B. A sport court, tennis court, home sports facility, or home recreation facility and related fencing, walls, and the like shall be at least ten (10) feet from any property line and any underground or overhead utility lines.
- C. A sport court, tennis court, home sports facility, or home recreation facility shall be located outside of public and private easements.

Subd. 3 General Requirements.

- A. A sport court, tennis court, home sports facility, or home recreation facility shall be included in lot coverage calculations and subject to lot coverage maximums as contained in the applicable zoning district and/or shoreland overlay district, whichever is most restrictive.
- B. Solid facility walls shall not exceed ten (10) feet in height. Any building wall in excess of six (6) feet shall require a building permit.
- C. Chain link fencing or netting on fencing surrounding a sport court, tennis court, home recreation facility or home sports facility may extend up to twelve (12) feet in height above the sport court surface elevation. Any fence structure in excess of six (6) feet shall require a building permit, if required by the Building Official. Fences shall at all times be maintained in good condition and are subject maintenance standards included in Chapter 1245.05, Subd. 3, (A)-(D), (F)-(G) of the City Code as may be amended pertaining to fences.
- D. The standards contained in Chapter 1245.08, Lighting, of the City Code apply to sport courts, tennis courts, home recreation facilities and home sports facilities. Lighting shall be designed with a ninety (90) degree cutoff and shall be hooded to direct lighting downward and not toward adjacent properties.
- E. The standards contained in Chapter 6, Section 660 (Noise) of the City Code apply to sport courts, tennis courts, home recreation facilities and home sports facilities.

IX. EFFECTIVE DATE: THIS ORDINANCE IS EFFECTIVE UPON ITS ADOPTION AND PUBLICATION AS PRESCRIBED BY LAW.

Adopted by the City of Norwood Young America on the ___ day of _____, 2021.

Attest:

Carol Lagergren, Mayor

Angela Brumbaugh, City Clerk

Adopted:

Published:



To: Chairperson Heher
Members of the Planning Commission
Acting Administrator Brumbaugh

From: Cynthia Smith Strack, Consulting Planner

Date: November 3, 2021

Re: Planning Commission Work List

BACKGROUND

The Planning Commission has completed an itemized work list of code amendments. The PZC may wish to discuss other work items of interest, perhaps methods to accommodate/encourage production of residential lots. Any recommendation would be presented to the City Council prior to moving forward with initial discussion.

WORK LIST ITEM	STATUS
1. Zoning district intent statement updates	COMPLETED
2. Rezone lots south of Railroad Street and north of railway from Faxon to Progress from C-3 to RC-1	COMPLETED
3. Amend RC-1 District to provide for auto, ATV/UTV, boat, personal watercraft, snowmobile sales with ancillary repair.	COMPLETED
4. Amend definition of hotel/motel in the City Code.	COMPLETED
5. Sport courts – home sports facilities.	PUBLIC HEARING NOVEMBER 3RD

ACTION

This item is for information

ZONING DISTRICT	LOT DIMENSIONS					SETBACKS					LOT COVERAGE AND BUILDING STANDARDS		
	Lot Size (min.)	Lot Area per Dwelling Unit	Lot Width Interior (min.)	Lot Width Corner (min.)	Front Yard	Side Yard (street)	Side Yard (Interior)	Rear Yard	Alley rear yard	Lot Coverage (max)**	Principal Structure Height (max.)	Floor Area Principal	
Ag Transitional	Varies		200'	200'	50'	30'	10'	50'	50'	30%	35'	N/A	
Accessory Structure					50'***	30'	5'	5'	10'		25'		
R-1 Single Family (Low Density/Residential Dist. (Principal)*	10,000 sf		80'	80'	30'	30'	10'	25'	25'	30%	35'	900 square feet	
Accessory Structure					30'***	30'	5'	5'	10'		10' wall, 18' overall		
R-2 Single Family (Medium Density Residential Dist. (Principal)*	8,000 sf Detached	7,000 sf Attached	70'	70'	25'	25'	5'	20'	20'	30%	35'	900 square feet	
Accessory Structure					25'***	25'	5'	5'	10'		10' wall, 18' overall		
R-3 Mixed (Medium Density Residential Dist.)	7,000 sf Detached	6,000 sf Two family & twin homes	50' detached; 70' two family & WF <4 units; 30' town homes		20' house bldg wall; 10' for porches, decks, patios	5' detached, 0' common lot line attached	20'	20'	20'	35%	35'	900 square feet	
Per Unit up to four units	3,000 sf				20'***	20'	5'	5'	10'		10' wall, 18' overall	900 square feet	
Accessory Structure													
R-4 Multiple Family (High Density Residential Dist.)		Efficiency unit: 2,400 sf/unit; 1 BR 3,000 sf/unit; 2 BR 3,500 sf/unit; 3 BR 4,000 sf/unit; all other uses 30,000 sf***	7 units or less = 150'; 8+ units = 200'	7 units or less = 150'; 8+ units = 200'	35'	10'	10'	35'	35'	50%	45'	N/A	
Accessory Structure					35'***	35'	10'	10'	10'		10' wall, 18' overall		
RC-1 Residential/Neighborhood Commercial District	7,000 sf		50'	50'	10'	10'	5'	10'	10'	70%	35'	5F dwellings - 900 square feet	
Accessory Structure					10'***	10'	5'	5'	10'		10' wall, 18' overall		
C-2 Highway Commercial Dist.	20,000 sf		200'	200'	25'	25'	5'; 30' adj. to Res. Dist.	20'; 30' adj. to Res. Dist.	20'; 30' adj. to Res. Dist.	80%	35'		
Accessory Structure					25'***	25'	5'	5'	10'		10' wall, 18' overall		
C-3 Downtown Dist.	None		None	None	None	None	None; 5' adj. to Res. Dist.	None; 10' if adj. to Res. Dist.	None; 10' if adj. to Res. Dist.	None	45'		
Accessory Structure					None***	0'	5'	5'	10'		10' wall, 18' overall		
B-1 Business/Industrial Dist.	30,000 sf		200'	200'	25'	25'	5'; 30' adj. to Res. Dist.	20'; 30' adj. to Res. Dist.	20'; 30' adj. to Res. Dist.	80%	40'		
Accessory Structure					25'***	25'	5'	5'	10'		10' wall, 18' overall		
I-1 Light Industrial Dist.	2 acres		200'	200'	30'	30'	50'; 75' adj. to Res. Dist.	50'; 75' adj. to Res. Dist.	50'; 75' adj. to Res. Dist.	80%	40'		
Accessory Structure					30'***	30'	10'	10'	10'		10' wall, 18' overall		
Ponds/Open Space	None		None	None	None	None	None	None	None	None	None		
Shoreland Overlay													
PD Planned Unit Development													

* Maximum impervious surface coverage in shoreline overlay districts is 25% of lot area

** Accessory structures are not allowed in front yards

*** Up to 400sf may be deducted from the total required lot area for every truck under or underground garage proposed

Additional standards, including but not limited to those related to accessory structures, accessory dwellings, signs, parking, lighting, landscaping, towers, etc may apply

see ordinance Section 1240.D.1

see ordinance Section 1240.D.2