



Norwood Young America Planning Commission
Tuesday, June 6, 2017
Norwood Young America City Council Chambers, 310 Elm St. W.
6:00 p.m.

AGENDA

1. Call to Order
Pledge of Allegiance
2. Adoption of Agenda
3. Approve Minutes of May 2, 2017 meeting
4. Public Hearings
 - A. Code Amendment: Performance Standards for Signs in the RC-1 District
 - B. Rezoning: Preserve 5th Addition from P-1 to R-1
 - C. Variance & CUP: Curfman Trucking – 600 Railroad Street W
5. New Business
 - A. Preserve 5th Addition: Rezoning & Final Plat
 - B. Curfman Trucking: Variance, CUP, & Site Plan Approval
 - C. Ordinance: Performance Standards – Sign Standards RC-1 District
6. Next Meeting Date
7. Commissioner's Reports and May Building Permit report
8. Adjourn

**Bill
Grundahl**

**Cassandra
Kemp**

**JR
Hoernemann**

**Mark
Lagergren**

**Craig
Heher**
Council
Liaison

UPCOMING MEETINGS

June 12th – City Council Meeting 6:00 p.m. – PC Rep – JR Hoernemann
June 14th – EDC Meeting 6:30 p.m.
June 20th – Parks & Recreation Commission Meeting 5:30 p.m. – JR Hoernemann
June 26th – City Council Meeting 6:00 pm – PC Rep – JR Hoernemann

***Norwood Young America
Planning Commission Minutes
May 2, 2017***

Present: Commissioners Bill Grundahl, Craig Heher, and JR Hoernemann.

Absent: Cassandra Kemp and Mark Lagergren.

Staff: City Administrator Steve Helget and Planning Consultant Cynthia Smith Strack.

1. Call to Order.

The meeting was called to order by Heher at 6:00 pm. All present stood for the Pledge of Allegiance.

2. Adoption of Agenda.

Chairperson Heher introduced the agenda.

Motion – Hoernemann, second Grundahl to approve the agenda as presented. The agenda was approved 3-0.

3. Approval of Minutes from the Regular Meeting April 18, 2017.

Heher introduced the minutes from the April 18, 2017 regular meeting.

Motion – Grundahl to approve April 18, 2017 regular meeting minutes. Second by Hoernemann. With all in favor the minutes were approved 3-0.

4. Public Hearings.

None.

5. Old Business.

A. Appoint Representative to Comprehensive Plan Committee.

Heher introduced the agenda item noting SRF Consulting would be assisting the City of Norwood Young America with its 2040 Comprehensive Plan Update. SRF would be forming a Committee to assist with the update. A representative from the PC was to be added to the Committee.

City Administrator Helget noted the comprehensive plan is the overall guiding document for land use in the City. Comprehensive Plan committee members could expect to attend four to five meetings.

Heher asked for a volunteer. Grundahl noted he would consider representing the

Commission and committed to attending the first meeting. Helget stated a representative was needed to attend all meetings.

Motion – Hoernemann, Second Heher to appoint Grundahl to serve on a committee to update the Comprehensive Plan. Approved 3-0.

B. Rental Code Update.

Heher introduced the agenda item.

Strack stated that at the April meeting the PC reviewed a draft management plan drafted by the City Attorney's Office in lieu of language inserted in the draft rental code pertaining to disorderly conduct. The Commission reached consensus to continue discussion at this meeting. A final sticking point appears to be disorderly conduct and/or management plan provision.

Strack requested input from the Commission.

Heher asked Administrator Helget whether either the disorderly conduct provision or the management plan could have assisted him in dealing with the issue that initiated rental code discussion. Helget stated he was unsure of whether or not either the disorderly conduct provision or management plan standard would have been helpful. Helget noted either approach would appear to have been helpful, especially perhaps the disorderly conduct provisions as proposed in the initial redraft.

Helget noted nearly 100 rental permits existed, he was concerned about having to obtain and review more than 100 management plans. Helget opined the City was fortunate in that few rental housing issues existed, especially those related to law enforcement activities.

Helget stated he was unsure disorderly conduct provisions fully itemized by the City Attorney's Office were necessary or not. He opined the management plan may be fine for larger properties, but could be viewed as overly burdensome for owners of individual or small groups of rental units. Helget noted he spoke with the City Attorney who suggested if certain properties continue to be problematic, then owners of those properties could be required to have a management plan.

Heher stated that as he reflects on the proposed update he was reminded of what brought the discussion to the Commission's attention. Heher noted it was one property and one issue. Heher opined that if most persons are compliant perhaps burdensome regulations were unnecessary. Heher stated he was interested in the City Attorney's suggestion to only require a management plan for those with repeat violations.

Grundahl stated that most rental owners he's spoken to have some form of background checks in place. He stated he was unsure of how discussion should proceed.

Heher questioned that if a trigger mechanism for the management plan was to be inserted in the language, what that language would state. Strack suggested input from the City Attorney's Office and then noted code language relating to disorderly conduct could be retained and language added regarding a threshold mechanism requiring a management plan.

Hoernemann opined the Commission should be careful not to create a burden on landlords or City staff just because of one complaint.

Heher questioned what language relating to disorderly conduct or activities should include. Heher noted one option would be to retain initial language relating to disorderly conduct as suggested by the City Attorney's Office.

Strack suggested re-engaging with the City Attorney's office and expressing an affinity for hybrid approach with management plan requirement triggered by multiple violations of disorderly conduct provisions while appealing for simple and clear disorderly conduct language as well.

Heher noted the "compliance conference" alluded to under the draft disorderly conduct language could be a convenient place to reference a management plan requirement.

Hoernemann reiterated a concern the language could be overly burdensome, particularly if caused by only one problem rental unit.

Strack asked for clarification of whether or not the Commission wanted to include disorderly conduct language in the rental code so as to have an avenue for compliance action should a tenant conduct issue arise.

Grundahl supported including language relating to disorderly conduct but was unsure of whether or not the language proposed by the City Attorney was too burdensome.

Heher suggested the City Attorney's Office attempt to perhaps reduce the 18 references to disorderly conduct issues. Strack suggested adding a reference to a management plan in the second disorderly conduct violation standard pertaining to "problem solving conference" as suggested previously by Heher.

Strack is to follow up with the City Attorney.

6. New Business.

A. Discussion Regarding Towers.

Heher introduced the agenda item.

Strack stated that a few months ago, the City received an inquiry regarding the location of telecommunications towers as a principal use of industrial zoned property adjacent to

Highway 212. The request generated staff investigation into code standards relating to towers. At this time, commercial towers are located in the R-2 District north of Young America Lake adjacent to Tacoma/5th Avenue NE.

Strack reported on existing standards, including:

- Antennas, satellite dishes, communication, and radio towers are allowed as a principal use of property under a CUP in the T/A Transition/Agricultural District and the I-1 Light Industrial District.
- Communications towers including television antennae and radio and telephone transmission towers are exempt from district height restrictions.
- Conflicting conditional use standards exist, including:
 - a. Only one satellite dish, amateur radio tower, or ground mounted vertical antenna is allowed per residential lot.
 - b. Ground-mounted satellite dishes can't exceed fifteen (15) feet in height above the ground level.
 - c. Ground-mounted satellite dishes, amateur radio towers, and ground-mounted vertical antenna can't be located within the required front or side yard setback.
 - d. Ground-mounted satellite dishes, amateur radio towers, and ground-mounted vertical antenna have to be set back from all adjoining lots a distance equivalent to the height of the dish, tower, or antenna.
 - e. Building permits are needed for the installation of satellite dishes, amateur towers, and ground-cover mounted vertical antenna.
 - f. Every satellite dish, amateur radio tower, and ground-mounted vertical antenna has to be grounded against lightning strikes and in conformance with the National Electrical Code.

Strack reviewed specific standards staff found potentially problematic.

One problematic standard is, that, if taken literally conditional use standards require a CUP for any antennae, satellite dish, communication or radio tower, regardless of district. There is no distinction between personal antennae or satellite dishes and commercial antennae or satellite dishes. Also, there is no allowance for ham radio towers in residential areas, a requirement under federal law.

Another problematic issue is that CUP requirements (a), (b), and (c) appear to be related to personal devices and not commercial devices. CUP requirements (d) and (e) appear to

be related to commercial devices and not personal devices. CUP requirements for (f) could be related to both personal and commercial devices.

Strack requested input from the Commission is requested on several topics as follows. First, whether or not I-1 General Industrial District properties adjacent to Highway 212 were viewed as suitable for towers as principal uses under CUP. Second, what districts the PC felt were suitable for commercial telecommunications towers. Third, whether or not CUP standards (d) and (e) should apply only to commercial towers, and whether standards (a)-(c) could be removed as CUP standards. Finally, how to incorporate amateur radio tower allowances while protecting adjacent residents.

Commissioners discussed items identified by Strack. Commissioners reached consensus in recommending standards related to towers be contained in one freestanding section of the Code rather than being contained in several sections of the Code.

The Commission discussed the concept of making a distinction between commercial and non-commercial towers. Heher commented on creating a distinction between personal and gainful use.

Grundahl questioned what would make a commercial use a commercial application. He speculated there should be a mechanism to differentiate between what is commercial and non-commercial.

Administrator Helget suggested Strack present potential standards at a future meeting.

7. Commissioner Reports – Building Permit Report.

Hoernemann reported he was unable to attend Sr. Advisory meeting. The Haven had its first-year anniversary.

Grundahl referenced the joint meeting of CC, EDC, and PC. That meeting resulted in positive feedback. He opined a negative was they group didn't want to meet often enough to move forward with downtown revitalization or redevelopment.

Heher reported the Council approved Liberty Street vacation and residential uses in rear of C-3 district structures. The Council did not approve rezoning of 120 Morse Street.

8. Adjourn

Motion – Grundahl, Second Hoernemann, with all in favor the meeting adjourned at 7:20 p.m.

Respectfully submitted,

Steve Helget
Zoning Administrator



To: Chairperson Heher
Members of the Planning Commission
Administrator Helget

From: Cynthia Smith Strack, Consulting Planner

Date: June 6, 2017

Re: Public Hearing: Ordinance Adding RC-1 District to Signage Standards

BACKGROUND

In April the Commission directed drafting of an ordinance adding the RC-1 District to standards pertaining to performance standards for signs. The attached draft code amendment simply adds the RC-1 District to signage performance standards already applicable to the C-2, B-I, and I-1 Districts.

The Commission is to hold a public hearing on the Ordinance and make a recommendation to the City Council during the business portion of the meeting.

**CITY OF NORWOOD YOUNG AMERICA
ORDINANCE NO. [REDACTED]**

**AN AMENDING SECTION 1260.09, SUBD. 4 OF THE CITY CODE
PERTAINING TO SIGNS BY ADDING A REFERENCE TO THE RC-1
RESIDENTIAL NEIGHBORHOOD COMMERCIAL DISTRICT**

- I. THE CITY COUNCIL OF THE CITY OF NORWOOD YOUNG AMERICA, MINNESOTA TO PROMOTE THE PUBLIC SAFETY, HEALTH, AND WELFARE, HEREBY ORDAINS CHAPTER 12, SECTION 1260.09, SUBD. 4 OF THE CITY CODE SHALL AMENDED AS FOLLOWS:**

Subd. 4 **RC-1** C-2, B-1 and I-1 Regulations. The following uses are permitted within the **RC-1**, C-2, B-1 and I-1 Districts.

- II. EFFECTIVE DATE: THIS ORDINANCE IS EFFECTIVE UPON ITS ADOPTION AND PUBLICATION AS PRESCRIBED BY LAW.**

Adopted by the City of Norwood Young America on the ____ day of _____, 2017.

Attest:

Carol Lagergren, Mayor

Kelly Hayes, City Clerk

Adopted:

Published:



To: Chairperson Heher
Members of the Planning Commission
Administrator Helget

From: Cynthia Smith Strack, Consulting Planner

Date: June 6, 2017

Re: Public Hearing: Rezoning Preserve 5th
Final Plat Preserve 5th

Applicant: Scott Loomis, dba Loomis Homes LLC

Subject Address: Not Assigned. Generally East of Fox Crossing and West of Barnes Lake

Legal Description: Outlot A, The Preserve 4th Addition

Property ID: 58.6530430

Zoning Class: P-1 Parks/Open Space District

Request: 1. Rezoning P-1 Parks/Open Space to R-1 Low Density Single Family Residential
2. Recommendation: Final Plat Approval

Representative: Scott Loomis
Cara Otto, Otto & Associates

Attachments: Application
Plat Materials
Site Map
Memo from City Engineer dated June 1, 2017
Preliminary plat maps
Proposed Covenants

BACKGROUND

The City approved a preliminary plat for the entire Preserve development in February 2002. A final planned unit development (PUD) plan was approved in March 2002. The Preserve is a phased PUD on approximately 150 acres. Four previous phases were finalized and developed. The plat build out has deviated from proposed phasing (attached). Preserve 5th addition is the fifth and final phase of the development. In total, the Preserve included 293 housing units, specifically 155 single family detached lots, 108 townhome units and 30 twin home units. The arrangement of the multi-family units was revised after the preliminary plat to comply with shoreland management and wetland regulations, prior to approval of an initial final plat.

Preserve 5th is situated east of The Preserve 3rd and The Preserve 4th Additions. Proposed Preserve 5th consists of 37 one-family lots ranging in size from 9,006 square feet to 21,690 sf with an average size of 15,036 sf. Dwelling styles are primarily walk-outs with a few look-outs and full basement styles in Block 2.

Lot and building packages are proposed in the \$250,000 range. The Applicant proposes covenants (copy attached), which staff notes are not enforceable by the City. Existing home estimated market values (2017) in The Preserve 3rd Addition range from \$264,600 to \$735,000 with a median value of \$354,150 and an average value of \$376,206. Existing home estimated market values (2017) in the Preserve 4th Addition range from \$179,400 to \$234,200 with a median value of \$204,900 and an average value of \$204,730.

REZONING REQUEST: PUBLIC HEARING

The Applicant proposes rezoning a portion of Outlot A, Preserve 4th Addition from P-1 Parks and Open Space to R-1 Low Density Single Family Residential. The rezoning request is to remedy an apparent error on the Official Zoning Map wherein privately owned property was inadvertently zoned P-1 Parks and Open Space. The area proposed for rezoning was previously rough-graded with a prior addition of The Preserve and was pre-platted as one-family residential lots.

A portion of the subject property is to be dedicated to the City as parkland in conjunction with a proposed plat entitled "Preserve 5th Addition and was envisioned as part of "Prairie Dawn Park".

Planned use of the subject property under the 2008 Comprehensive Plan is low to medium density residential. The proposed and planned uses are consistent.

The code does not specify review criteria or required standards for approving a rezoning request. The Code does require specific adoption criteria – i.e. a two-thirds super majority vote by the City Council.

The Code standard is as follows:

Subd. 1 Adoption. This chapter may be amended, changed or altered only by a favorable (two-thirds) majority vote of all members of the City Council, and only after a public hearing has been duly advertised and held by the Planning Commission.

Hearing Requirements

A public hearing notice was drafted, published, and distributed to property owners within 350 feet of the subject property.

Comments Received

The City Administrator has reportedly received phone calls regarding the proposed rezoning. Additional information will be provided at the June 6th meeting.

Staff Recommendation

Consulting staff recommends approval of the rezoning based on the following:

- Zoning of the portion of the subject property as requested remedies an apparent inadvertent error on the Official Zoning Map wherein privately held property was zoned Park Open Space. Items supporting this conclusion include:
 - The subject area was previously subject to concept plan/PUD review/approval,
 - The subject area was previously rough-graded for residential lot development, and
 - The property is privately held.
- The rezoning is consistent with the 2008 Comprehensive Plan
- The rezoning is consistent with previously approved PUD plans



FINAL PLAT REVIEW

The City is to review The Preserve 5th final plat for substantial compliance with a prior-approved preliminary plat and final PUD along with associated conditions of approval.

Comprehensive Plan

The proposed subdivision appears to be consistent with the policies and criteria set forth in the 2008 Comprehensive Plan, including planned use.

Parcel Arrangement

The proposed block and lot configuration appears to meet design requirements and is consistent with the preliminary plat and final PUD plan.

Streets

Proposed street widths appear to meet City standards and comply with the approved preliminary plat. To be consistent with the street naming policy convention, "Lakewood Court" should be assigned to only to the segment of the proposed street north of Barnes Lake Drive.

Park Dedication

The PUD plan illustrates the dedication of park land to the City in conjunction with development of The Preserve. Approximately five acres of park land was dedicated to the public with The Preserve 3rd Addition (current Prairie Dawn Park). Additional park land illustrated as Outlot A on the draft final plat is to be dedicated to the City as open space/park land. The Park and Recreation reviewed the trail and dedication of Outlot A. Attached maps illustrate proposed park and trail dedication approved with the preliminary plat and final PUD plan.



Pedestrian Ways

The plans illustrates construction of a five foot sidewalk on the south and east side of Lakewood Trail and Lakewood Court. The sidewalk converts to an eight foot bituminous trail in an easement between Lots 8 & 9 in Block 3 and then extends through proposed Outlot A (to be dedicated to the City) connecting to existing grass surfaced pedestrian way near a stormwater facility in The Preserve 3rd Addition.

The approved Preserve PUD illustrates a trail adjacent to Barnes Lake throughout proposed Outlot A, rather than a portion of the loop being sidewalk. The Applicant represents the trail as illustrated in the approved PUD plan is impractical due to existing topography, tree cover, and riparian area. The proposed trail alteration would appear to support findings issued by the DNR as part of the pre-plat and final PUD review.

Landscaping

A landscape plan for The Preserve development was approved as part of the PUD. The approved plan requires 2" caliper deciduous boulevard trees (Linden, Maple and Honey Locust) located along the public and private streets, two (2) trees per single-family lot.

A landscape plan was not included in the plan set. Staff recommends the developer's agreement require placement of boulevard trees at the direction of the City and that the agreement provide for a landscape escrow sufficient to ensure the planting of two tree on each lot, at the expense of the Developer, prior to issuance of a certificate of occupancy for any dwelling.

Additional Department/Agency Comments

Public Works: The plans have been forwarded to Public Services Director Tony Voigt for review and comment. Any/all comments from the Director are hereby incorporated by reference.

City Engineer: The City Engineer has reviewed the application and plans. Comments and recommendations contained in a memo from John Swanson dated June 1, 2017 are hereby incorporated by reference.

City Attorney: Application documents have been forwarded to the City Attorney for review, examination of title, and drafting of a developer's agreement.

Fire Department: The plan submittal has been forwarded to Fire Chief Steve Zumberge for review and comment.

Review of Plat Carver County Taxation and Survey: The plat has been forwarded by the Applicant to Carver County taxation and survey departments for review and comment.

MN DNR: The hearing zoning and proposed final plat were forwarded to the Carver County Area Hydrologist for review and comment. The Area Hydrologist acknowledged receipt and had no comments.

It is noted the entire development was reviewed and approved by the Department of Natural Resources (DNR) in 2002. The Final Plat for the Fifth Addition is nearly identical to the arrangement of the preliminary plat and appears to comply with the conditions of the 2002 DNR approval.

It is further noted the City has been informed a possible active or inactive Bald Eagle nesting site may be located near Barnes Lake. Nesting sites are protected under the Bald and Golden Eagle Protection Act. Regulations provided under that Act allow the USFWS to issue permits for activities that may harm or disturb bald eagles and their nests. The Applicant is responsible for securing a permit if needed.

Carver County Water Management Organization: The Applicant is responsible for obtaining required review and approval for the proposed plat from the CCWMO.

RECOMMENDATION

After review and discussion, the Planning Commission may consider a MOTION to recommend approval of the final plat to the City Council.

If the Planning Commission recommends approval of the final plat the following conditions are recommended:

1. Submittal of revised plans to the City for review as needed.
2. Incorporation of recommendations contained in a staff memo from the City Engineer dated June 1, 2017.
3. Securing of necessary permits as may be required by entities external to the City of Norwood Young America.
4. Title examination by the City Attorney.
5. Execution of a Developer's Agreement and filing of necessary items as required therein.

ACTION

The PC shall hold a public hearing regarding the rezoning request. During the business portion of the meeting the PC shall consider rezoning and final plat approval requests. A separate and independent MOTION to recommend the Council to approve/deny each item is in order.

THE PRESERVE 5TH ADDITION

PLAT FILE NO.

C.R. DOC. NO.

KNOW ALL PERSONS BY THESE PRESENTS: That Loomis Homes, LLC, a Minnesota limited liability company, fee owner of the following described property situated in the County of Carver, State of Minnesota, to wit:

Outlot A, THE PRESERVE 4TH ADDITION, Carver County, Minnesota, according to the recorded plat thereof.

Has caused the same to be surveyed and platted as THE PRESERVE 5TH ADDITION and does hereby dedicate to the public for public use the public way and the drainage and utility easements as created by this plat.

In witness whereof said Loomis Homes, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

LOOMIS HOMES, LLC

_____, Its _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____ of LOOMIS HOMES, LLC, a Minnesota limited liability company, on behalf of the company.

(Notary Signature)

(Notary Printed Name)

Notary Public, _____County, Minnesota.

My Commission Expires: _____

I hereby certify that I surveyed and platted or directly supervised the surveying and platting of the land described on this plat; this plat is a correct representation of the boundary survey; all mathematical data and labels are correctly designated; all monuments depicted on the plat have been or will be correctly set within one year; all water boundaries and wet lands as of this date are shown and labeled; and all public ways are shown and labeled.

Paul E. Otto, Land Surveyor
Minnesota License Number 40062

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Paul E. Otto, Land Surveyor.

(Notary Signature)

(Notary Printed Name)

Notary Public, _____County, Minnesota.

My Commission Expires: _____

NORWOOD YOUNG AMERICA, MINNESOTA

This plat of THE PRESERVE 5TH ADDITION was approved and accepted by the City Council of the City of Norwood Young America, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF THE CITY OF NORWOOD YOUNG AMERICA, MINNESOTA

By: _____ Mayor By: _____ Clerk

County Surveyor, Carver County, Minnesota

Pursuant to Chapter 395, Minnesota Laws of 1971, this plat has been approved this _____ day of _____, 20____.

Brian Praske, County Surveyor

By: _____

County Auditor/Treasurer, Carver County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat.
Dated this _____ day of _____, 20____.

Laurie Davies, County Auditor/Treasurer

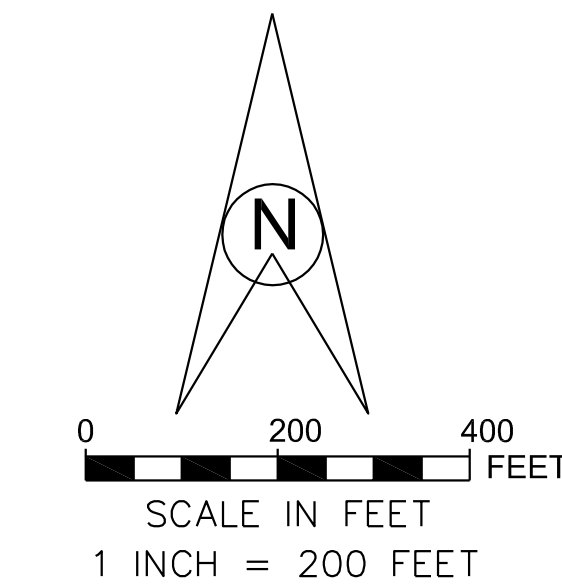
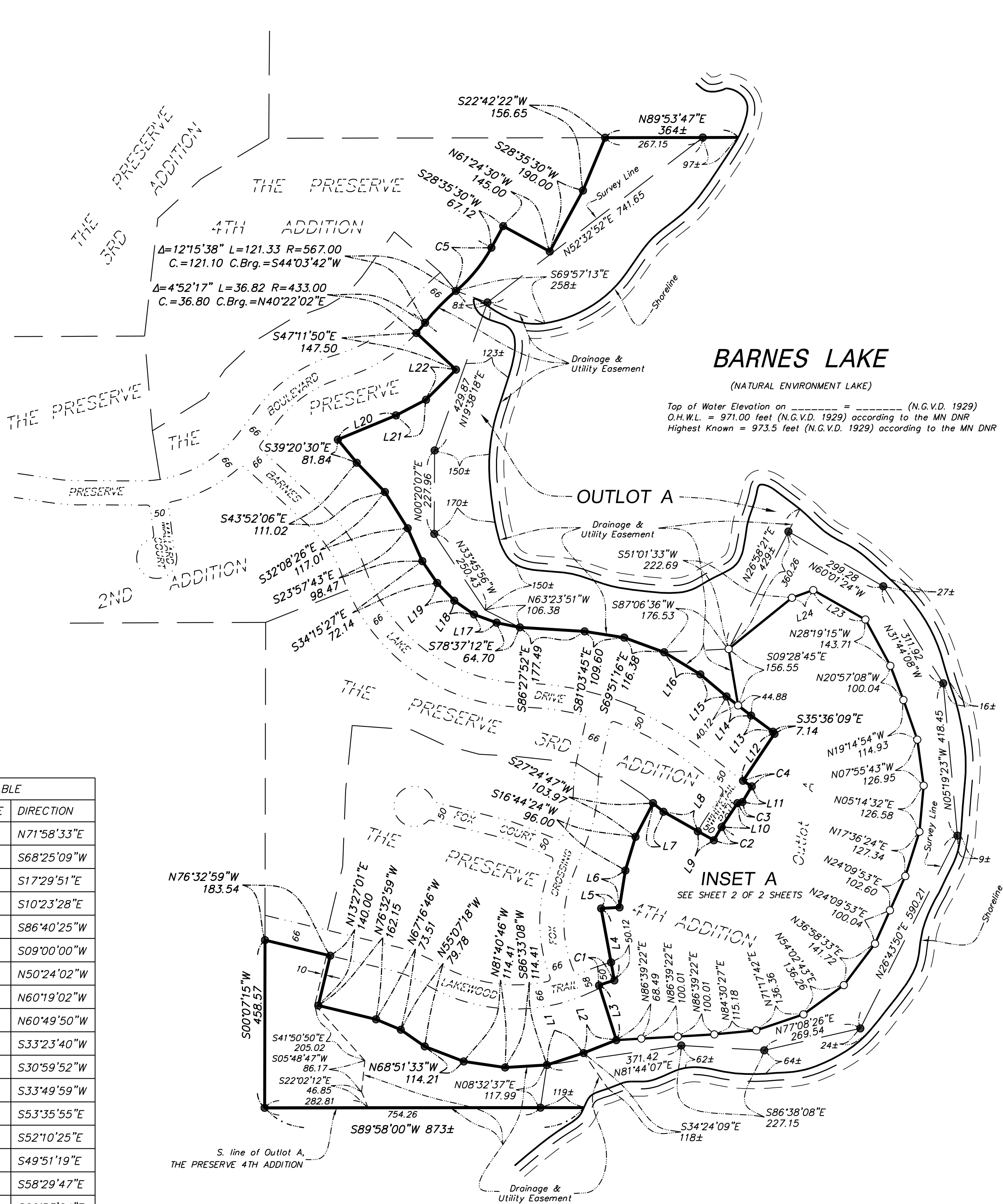
By: _____

County Recorder, Carver County, Minnesota

I hereby certify that this plat of THE PRESERVE 5TH ADDITION was filed this _____ day of _____, 20____, at _____ o'clock _____M. as Document No. _____.

_____, County Recorder

By: _____



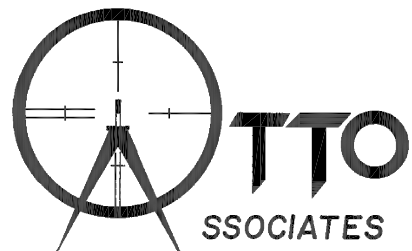
BENCHMARK:
Top Nut of hydrant on Lot 6, Block 22, THE PRESERVE 3RD ADDITION Elev=1005.56 feet (N.G.V.D. 1929)

BEARING NOTE:
The South line of Outlot A, THE PRESERVE 4TH ADDITION, Carver County, Minnesota, is assumed to bear S89°58'00\"W.

- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License number 40062.

LINE TABLE		
NUMBER	DISTANCE	DIRECTION
L1	105.50	N71°58'33\"E
L2	96.24	S68°25'09\"W
L3	156.81	S17°29'51\"E
L4	200.07	S10°23'28\"E
L5	50.41	S86°40'25\"W
L6	102.22	S09°00'00\"W
L7	37.22	N50°24'02\"W
L8	108.02	N60°19'02\"W
L9	50.00	N60°49'50\"W
L10	78.48	S33°23'40\"W
L11	50.00	S30°59'52\"W
L12	154.53	S33°49'59\"W
L13	74.48	S53°35'55\"E
L14	85.00	S52°10'25\"E
L15	93.49	S49°51'19\"E
L16	116.03	S58°29'47\"E
L17	65.72	S69°53'04\"E
L18	65.84	S55°09'13\"E
L19	67.41	S44°03'17\"E
L20	172.19	S67°22'34\"W
L21	92.78	S62°33'34\"W
L22	116.14	S44°49'13\"W
L23	163.65	N60°34'37\"W
L24	61.83	S70°13'37\"W

CURVE TABLE					
NUMBER	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	44.00	360.16	07°00'01\"	43.98	S71°54'42\"W
C2	41.94	475.00	05°03'33\"	41.93	S30°51'54\"W
C3	15.29	10.00	87°36'12\"	13.84	S77°11'46\"W
C4	28.45	575.00	02°50'07\"	28.45	S57°35'05\"E
C5	153.81	408.00	21°36'01\"	152.90	N39°23'31\"E

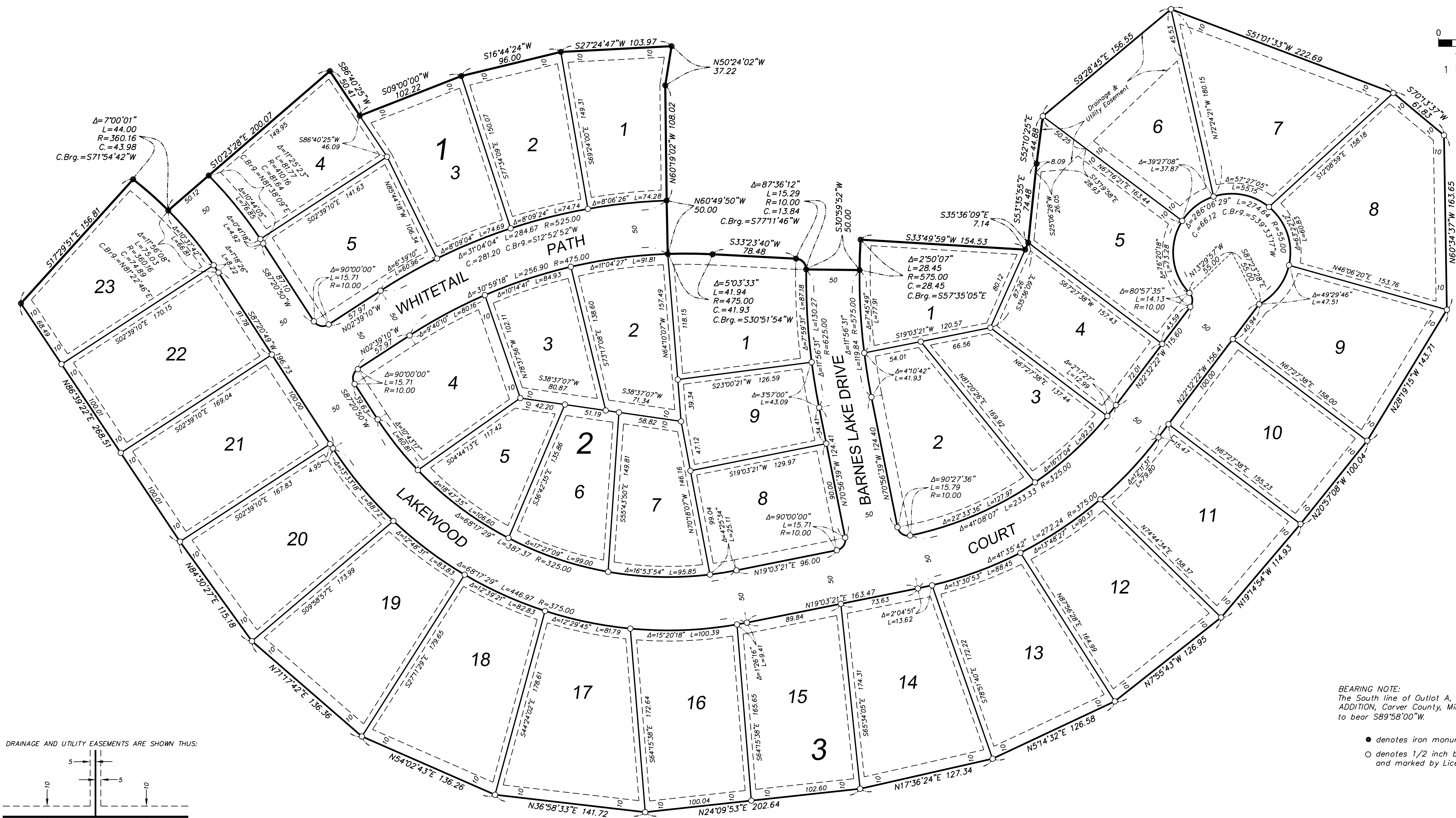
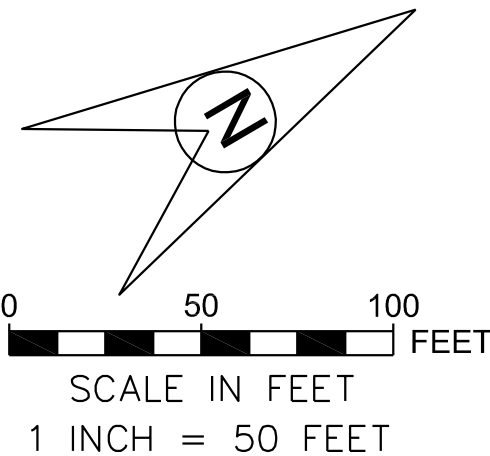


THE PRESERVE 5TH ADDITION

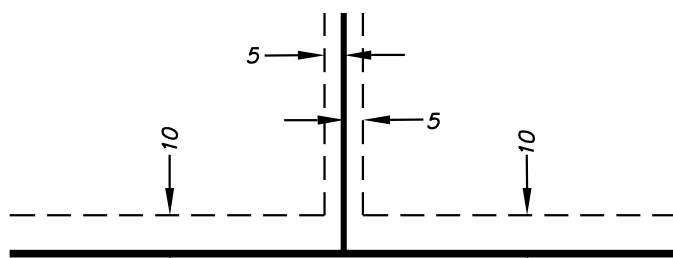
INSET A

PLAT FILE NO.

C.R. DOC. NO.



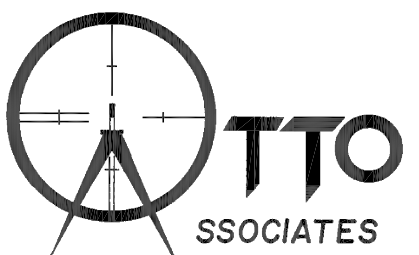
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AND BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING LOT LINES, AS SHOWN ON THE PLAT.

BEARING NOTE:
The South line of Outlot A, THE PRESERVE 4TH ADDITION, Carver County, Minnesota, is assumed to bear S89°58'00\"/>

- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License number 40062.



Planning and Zoning Application

City of Norwood Young America
310 Elm St. W, PO Box 59
Norwood Young America, MN 55368
Phone: (952) 467-1800 Fax: (952) 467-1818

Applicant's Name Loomis Homes LLC		Telephone Home 952-200-8838 (Cell) Work/Cell
Address (Street, City, State, ZIP) 1458 White Oak Drive Chaska, Mn 55318		
Property Owner's Name (If different from above)		Telephone Home Work/Cell
Location of Project NE side of Town TWP 115 RNG 026 SEC 12		
Legal Description PID 58.6530430 Outlot A The Preserve 4th Addition		
Description of Request (Attach separate sheet, if necessary) Loomis Homes LLC is Proposing to develop the next phase of the Preserve, Which consist of 37 Lots		
<div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> <p>Proposed Action(s): Check all that apply</p> <p><input type="checkbox"/> Annexation \$300.00</p> <p><input type="checkbox"/> Application for Appeal \$150.00</p> <p><input type="checkbox"/> City Code Amendment \$250.00</p> <p><input type="checkbox"/> Parking Reduction \$100.00</p> <p><input type="checkbox"/> CUP/IUP \$200.00 (Residential)</p> <p><input type="checkbox"/> CUP/IUP \$300.00 (Non Residential)</p> <p><input type="checkbox"/> Variance \$150.00 (Residential)</p> <p><input type="checkbox"/> Variance \$200.00 (Non Residential)</p> <p><input type="checkbox"/> Lot Split \$200.00</p> <p><input checked="" type="checkbox"/> Public Hearing Notice \$75.00</p> </div> <div style="width: 30%;"> <p><input type="checkbox"/> Comp Plan Amendment \$500.00 + Escrow</p> <p><input type="checkbox"/> Sketch Plat \$200.00 + Escrow</p> <p><input type="checkbox"/> Site Plan \$300.00 + Escrow</p> <p><input type="checkbox"/> PUD Sketch Plan \$200.00 + Escrow</p> <p><input type="checkbox"/> PUD Plan Amendment \$300.00 + Escrow</p> <p><input type="checkbox"/> PUD Final Plan \$300.00 + Escrow</p> <p><input type="checkbox"/> PUD General Concept Plan \$400.00 + Escrow</p> <p><input type="checkbox"/> Preliminary Plat \$350.00 + \$10.00/Lot + Escrow</p> <p><input checked="" type="checkbox"/> Final Plat \$250.00 + \$10.00/Lot + Escrow</p> <p><input type="checkbox"/> Wetland Mitigation Plan \$100.00 + Escrow</p> </div> <div style="width: 30%;"> <p><input type="checkbox"/> Storm Water Plan \$250.00</p> <p><input checked="" type="checkbox"/> Rezoning \$350.00</p> <p><input type="checkbox"/> Street/Alley Vacation \$150.00</p> <p><input type="checkbox"/> Zoning Text Amendment \$300.00</p> <p><input type="checkbox"/> Recording Fee \$46.00</p> <p><input type="checkbox"/> Other _____</p> </div> </div>		
<p>ALL ESCROW MUST BE PAID BY CERTIFIED CHECK</p> <p>Escrow Deposit \$2,000.00</p> <p>Escrow Deposit - Site Plan Review: \$7,500 (Tacoma West Industrial Park), \$5,000.00 (All other site plan reviews)</p> <p>Escrow Deposit - Development Review (paid at Sketch Plan): \$10,000.00</p> <p>ALL PLANNING & ZONING APPLICATION FEES ARE IN ADDITION TO LEGAL, ENGINEERING AND ASSOCIATED COSTS.</p> <p>*APPLICATIONS WILL BE PROCESSED ONLY IF ALL REQUIRED ITEMS ARE SUBMITTED*</p>		
The undersigned certifies that they are familiar with application fees and other associated costs, and also with the procedural requirements of Chapter 11 and Chapter 12 of the City Code and other applicable ordinances.		
Applicant's Signature: 		Date 5/12/17
Fee Owner's Signature: 		Date 5/12/17
For Office Use Only		
Accepted By:	Amount	Date

6/1/17

City of Norwood Young America
Attn: Steve Helget
310 W. Elm St.
P.O. Box 59
Norwood Young America, MN 55368

RE: The Preserve 5th Addition
Plan Review
Project No.: C14113671

Dear Mr. Helget:

We have completed an engineering review of the submitted information for the above referenced project. Our review is based on plans bearing the general title "The Preserve 5th Addition", dated May 11, 2017, prepared by Otto Associates, for Loomis Homes, LLC, together with draft plat documents, specifications, and storm sewer and ponding calculations submitted on May 11, 2017. We offer the following comments and recommendations for your consideration:

General:

- 1) The proposed project is the final phase of the Preserve Development. The proposed improvements include sanitary sewer, watermain, storm sewer and filtration basin, street, sidewalk and trail construction.
- 2) Copies of all required permits shall be submitted prior to construction, including but not limited to MPCA, MDH, CCWMO, NPDES, etc.

Sanitary Sewer:

- 1) MH locations should be adjusted such that castings are located on centerline, or at approximately 7 feet off centerline, where practicable, to avoid wheel paths. MH 2 can be adjusted by making STMH 1 to a CBMH located in the curb line.
- 2) The proposed connections to existing sanitary sewer on Lakewood Trail and Barnes Lake Drive will require testing to the existing MH. In addition, existing services appear to be connected to the existing pipe between the existing MH and connection point.
 - a) The Developer and Contractor will be required to meet all required testing, and make any necessary repairs to the existing pipe or services necessary to pass all required tests.

- b) Excavation and removal of existing pipe may be required in the event the integrity of the existing pipe encountered is unacceptable. This will be determined during construction.
- 3) The depth of MHs 6, 9 and 10 should be verified to ensure they are deep enough to provide gravity service from the lots served based on proposed house type, and the distance from the sewer.
- 4) The pipe class between MH 3 and MH 4 shall be SDR 26.
- 5) Sanitary sewer services and risers shall include tracer wire and tracer wire access boxes. The details for both should be shown on the plans. We can provide details if required.
- 6) The elevation of service risers and service ends shall be shown on the as-builts.

Watermain:

- 1) The hydrant locations and spacing should be adjusted to provide a hydrant at each intersection, and maintain 350'-400' spacing. The addition of a hydrant or 2 may be required.
- 2) A hydrant shall be located at the high point in the watermain at +/- Sta. 18+25. Watermain grades can be adjusted such that the high point is located at a hydrant.
- 3) All connections to existing watermain shall have new valves installed at the connection point for testing purposes.
- 4) The connections to existing watermain on Barnes Lake Drive and Whitetail Path involve temporary hydrant assemblies. The entire existing hydrant assembly shall be removed such that connection is made to existing 8-inch pipe. The reuse of temporary hydrants and valves on site is dependent upon the condition they are in when removed, and subject to City Public Services and City Engineer approval. Acceptability for reuse will be determined during construction. Unacceptable materials shall be repaired to acceptable condition, or removed from the site.
- 5) The connections to the existing watermain on Barnes Lake Drive and Whitetail Path require a means to release air, flush and test the new watermain, without using the existing watermain open to the system. Potential methods to complete release of air, flushing and testing include but are not limited to:
 - a) Install permanent hydrant at connection point.
 - b) Use temporary flushing and testing assemblies as follows:
 - Install temporary testing assembly near connection point on new watermain
 - Complete all flushing and testing of new watermain.
 - Remove temporary testing assembly and make connection to existing watermain.
 - Put all watermain in service and do a visual inspection on the connection points.

The proposed flushing and testing method shall be submitted for review and approval prior to construction.

- 6) All exposed bolts on hydrants and gate valves shall be 304 Stainless Steel, or approved equal.
- 7) All watermain bolts shall be Cor-Blue T Bolts or approved equal.

Storm Sewer:

- 1) All ponds and ponding calculations were completed in previous phases of the development. The proposed improvements appear to comply with the previous calculations.
- 2) The submitted storm sewer calculations and proposed filtration basin calculations appear to be acceptable from an engineering perspective.
- 3) The comments addressed in CCWMO's review letter dated 5/19/17, shall be satisfied.
- 4) The proposed filtration basin is located on City property in the park on the west side of the site. This location is acceptable from an engineering perspective as it avoids potential disturbance in existing private yards, and provides adequate access for maintenance activities.
- 5) CCWMO requires an operation and maintenance agreement for the filtration basin. It is appropriate for the City to be responsible for the maintenance, for numerous reasons including but not limited to, there is no HOA for the development, the facility is located on City property, the City currently is responsible for storm sewer and pond maintenance in several locations, etc. The Developers Engineer is preparing the agreement for review.
- 6) The connection to the existing storm sewer on Lakewood Trail, may require excavation and removal of existing pipe, if the existing pipe or pipe bell integrity is unacceptable. This will be determined during construction.
- 7) A profile over the filtration basin pipe to the existing MH should be shown on the plans.
- 8) CB 5 is 4 feet deep. The diameter of CB 5 shall be 48" to provide for maintenance access.
- 9) The existing pavement on Lakewood Trail proposed to be removed for the filtration basin discharge should be saw cut perpendicular to the curb line, for paving and street patching construction.
- 10) The installation of drain tile in rear yard swales is recommended on Block 2, and Lots 1-5, Block 3.
- 11) The storm sewer manhole details should be revised to include only concrete adjusting rings. HDPE adjusting rings are not allowed.

Streets /Trail:

- 1) The proposed street width and section is consistent with City Standards.
- 2) A trail and sidewalk system is provided through the development that provides connectivity between previous phases to the north to previous phases and The Meadows to the west.
- 3) The proposed location on the north side of the development is approximate and planned to be determined during construction to minimize tree impacts and avoid poor soils at lower elevations. The final location of the trail in this area should be approved by the City.
- 4) Portions of the trail on the north side of the development will likely not be compliant with ADA standards due to steep slopes. The trail shall be signed as non ADA compliant in accordance with all applicable requirements. Signage type and location should be shown on the plan.
- 5) The submitted Plat Exhibit for Trail Easement, should be shown on the final plat.

Site Grading and Erosion Control:

- 1) The mass grading on the site was completed as part of previous phases of the development. The grading shown on the plan is for individual house plan lot grading, for house excavation and topsoil placement. Building permit site plans should closely adhere to the proposed grading.
- 2) The comments addressed in CCWMO's review letter dated 5/19/17, shall be satisfied.
- 3) Bio Roll ditch checks should be installed in areas where rear yard swale drain tile is installed as applicable.
- 4) Rock construction entrances shall be installed at all site access locations.
- 5) The Contractor shall submit proposed haul routes for approval, prior to construction, in accordance with the following:
 - a) The primary access should be Lakewood Trail.
 - b) Minimize construction traffic through adjacent neighborhoods.
 - c) Any and all damaged to existing streets caused by construction traffic shall be repaired at the Developers expense. It is recommended photo and/or video surveys be completed on proposed haul routes prior to construction to document pre-construction condition.
- 6) Street sweeping and cleaning of soil tracking shall be completed each day.
- 7) Dust control measures shall be implemented and maintained at all times during construction, and within 4 hours of notification by the City.

City of Norwood Young America
The Preserve 5th Addition
6/1/17

The proposed improvements appear to be acceptable from an engineering perspective subject to the comments addressed herein. Therefore we recommend approval of the submitted plans contingent upon addressing the comments addressed herein.

We are available to discuss this matter at your convenience.

Sincerely,

Bolton & Menk, Inc.

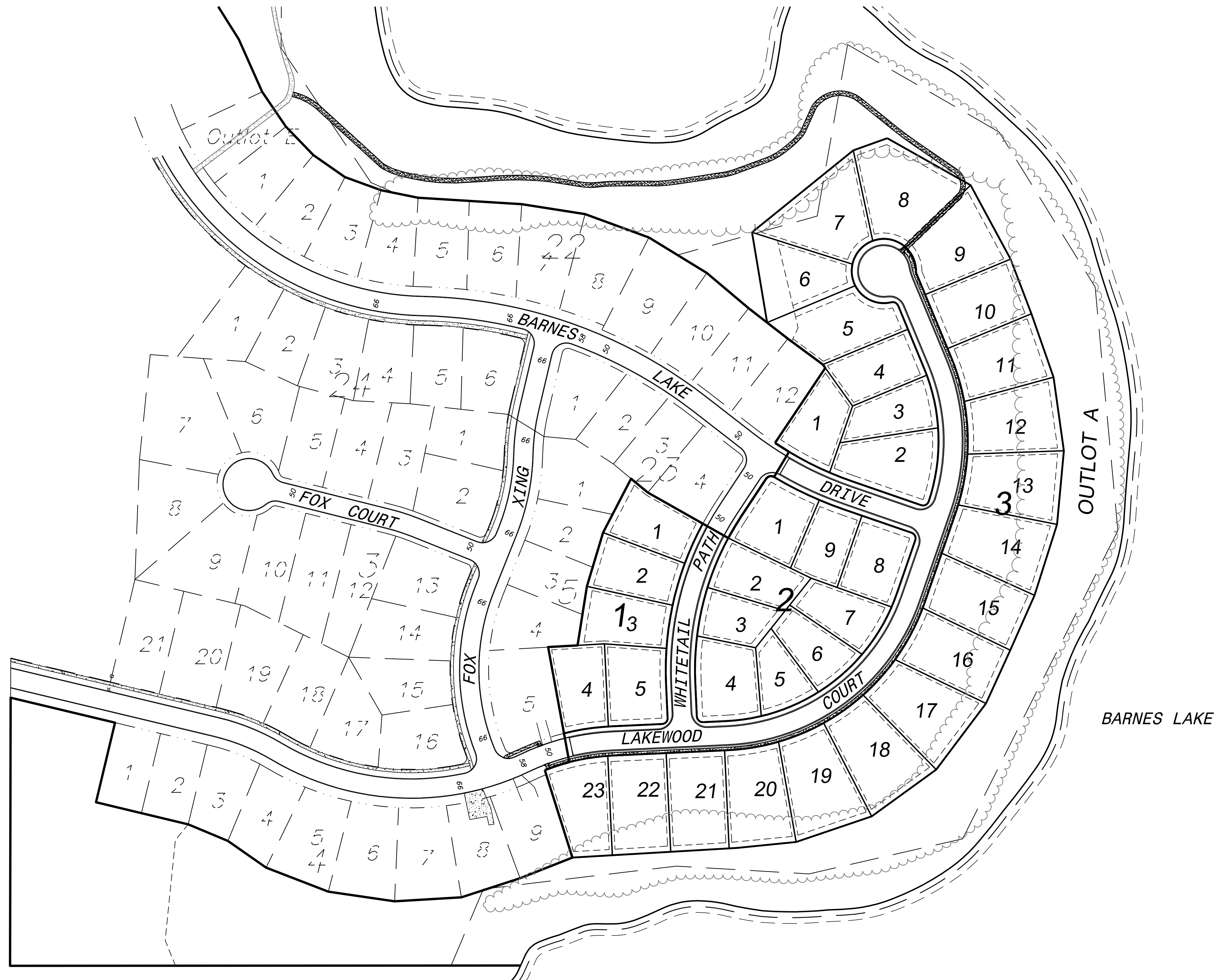
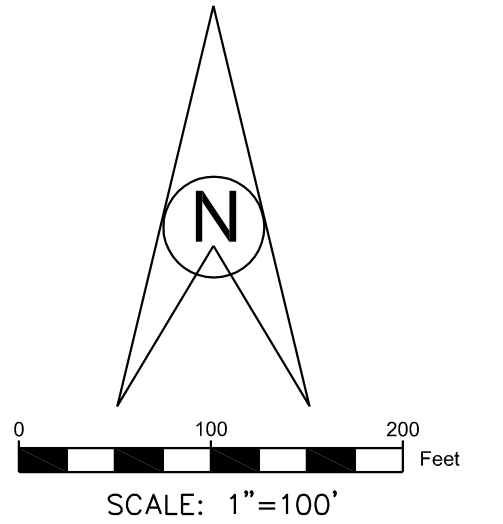
A handwritten signature in black ink, appearing to read 'John K. Swanson', is written over a light gray rectangular background.

John K. Swanson, P.E.
Senior Project Engineer

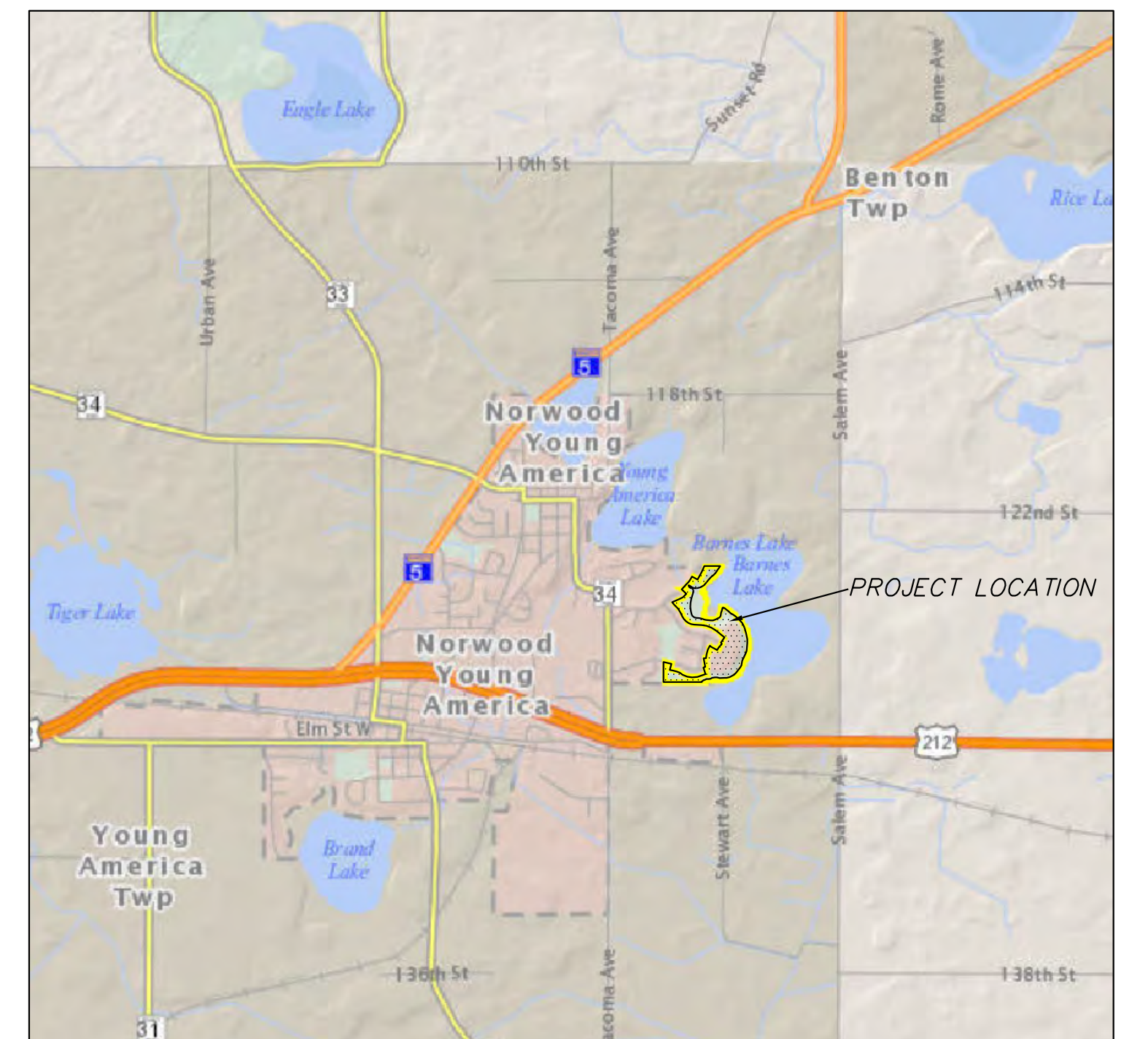
Cc: Cynthia Smith-Strack
Kreg Schmidt
Jake Saulsbury

THE PRESERVE 5TH ADDITION

NORWOOD YOUNG AMERICA



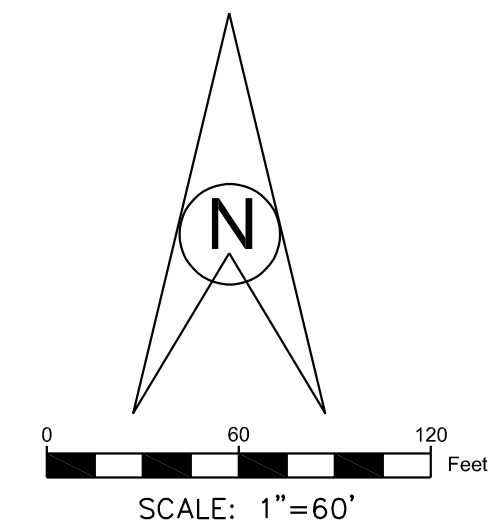
VICINITY MAP



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	COMPOSITE UTILITY PLAN
3	SANITARY SEWER & WATERMAIN - LAKEWOOD COURT
4	SANITARY SEWER & WATERMAIN - BARNES LAKE DRIVE
5	SANITARY SEWER & WATERMAIN - WHITETAIL PATH
6	STREET & STORM SEWER - LAKEWOOD COURT
7	STREET & STORM SEWER - BARNES LAKE DRIVE
8	STREET & STORM SEWER - WHITETAIL PATH
9	GRADING PLAN
10	STORMWATER POLLUTION PREVENTION PLAN
11	STORMWATER POLLUTION PREVENTION PLAN NARRATIVE
12	DETAILS
13	DETAILS
14	DETAILS

REV. NO.	DATE	BY	DESCRIPTION	DESIGNED	DRAWN	I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.	www.ottoassociates.com	THE PRESERVE 5TH ADDITION	COVER SHEET	PROJECT NO:
				C.S.O.	T.J.B.		9 West Division Street Buffalo, MN 55313 (763)682-4727 Fax: (763)682-3522	LOOMIS HOMES, LLC		17-0177
				CHECKED				NORWOOD YOUNG AMERICA	SHEET NO. 1 OF 14 SHEETS	DATE: 5-11-17
				C.S.O.		Cara M. Schwahn Otto License # 40433 Date: 5-11-17	Engineers & Land Surveyors, Inc.			



REV. NO.	DATE	BY	DESCRIPTION

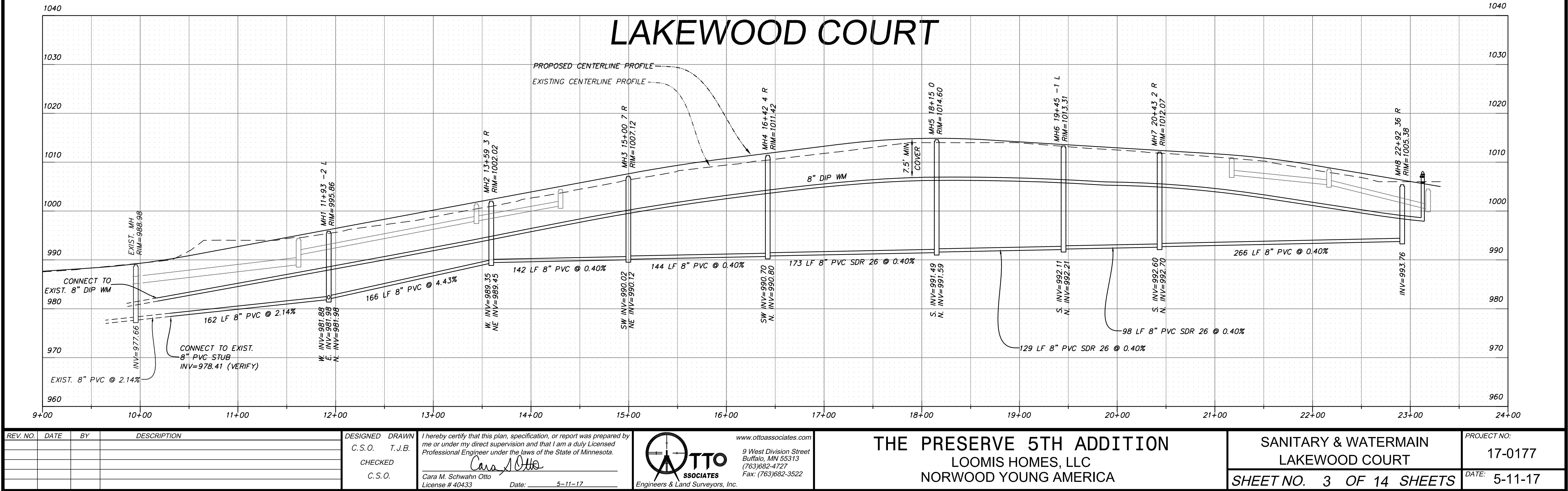
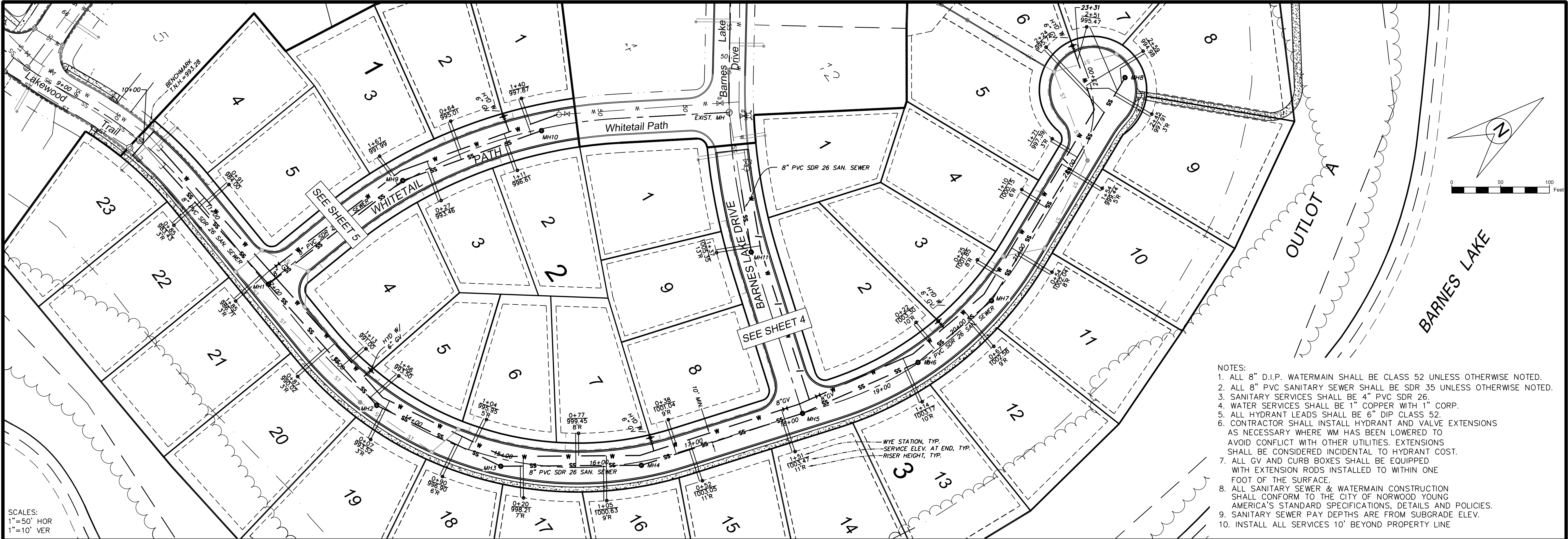
DESIGNED C.S.O. DRAWN T.J.B.
CHECKED C.S.O.

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Cara M. Schwahn Otto
Cara M. Schwahn Otto
License # 40433
Date: 5-11-17

OTTO ASSOCIATES
Engineers & Land Surveyors, Inc.
www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763) 682-4727
Fax: (763) 682-3522

THE PRESERVE 5TH ADDITION
LOOMIS HOMES, LLC
NORWOOD YOUNG AMERICA

COMPOSITE UTILITY PLAN	PROJECT NO: 17-0177
SHEET NO. 2 OF 14 SHEETS	DATE: 5-11-17



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C.S.O.	T.J.B.	
CHECKED		
C.S.O.		

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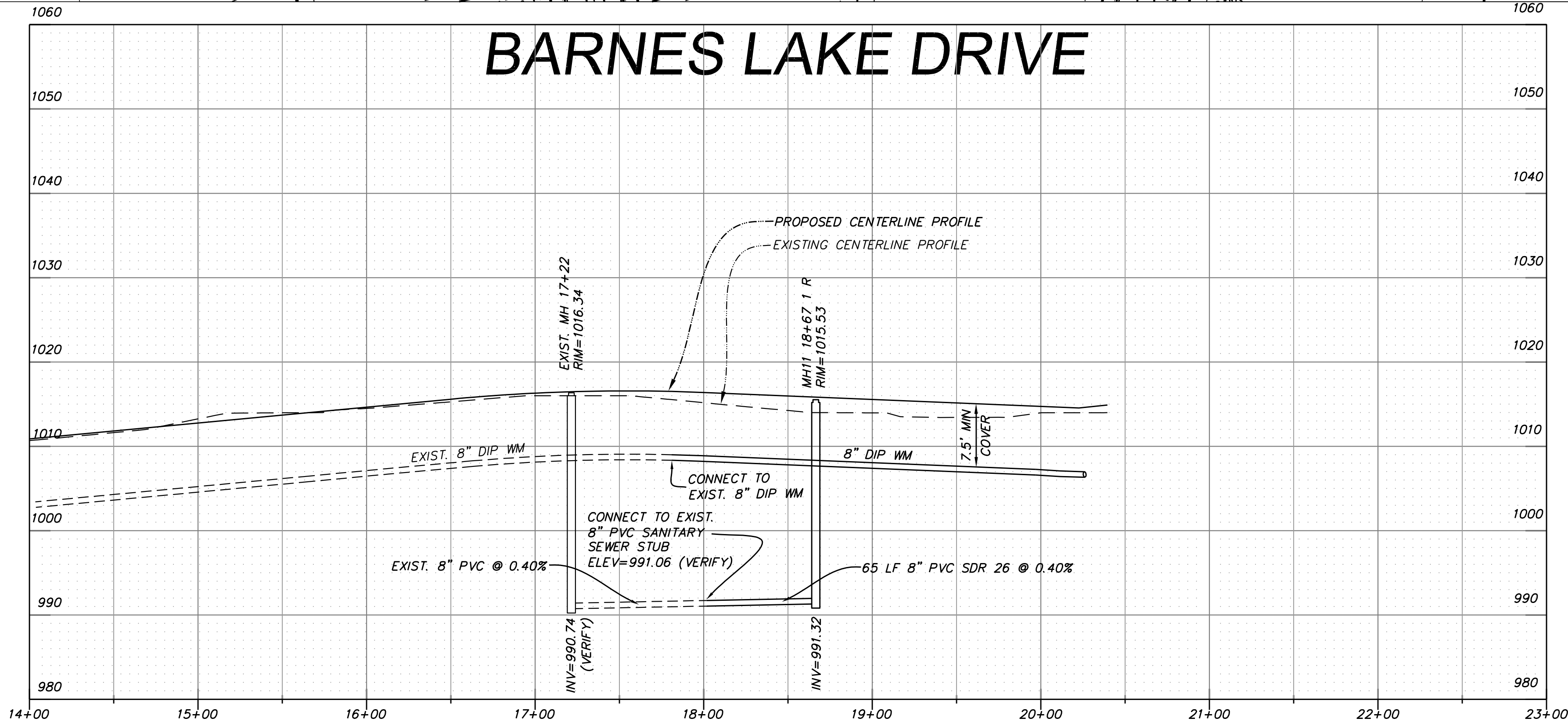
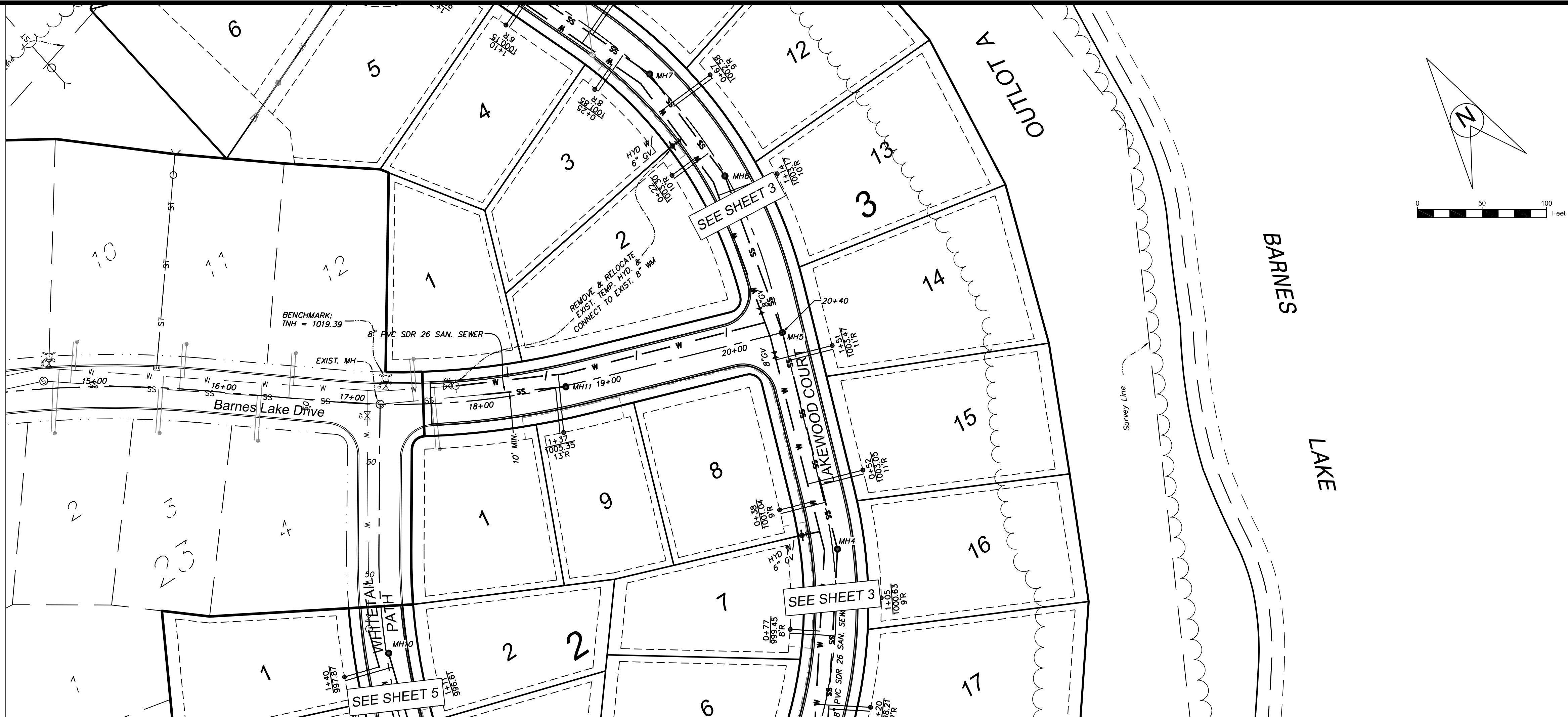
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(763) 682-4727
Fax: (763) 682-3522

THE PRESERVE 5TH ADDITION
LOOMIS HOMES, LLC
NORWOOD YOUNG AMERICA

SANITARY & WATERMAIN LAKEWOOD COURT	PROJECT NO: 17-0177
SHEET NO. 3 OF 14 SHEETS	DATE: 5-11-17

- NOTES:
1. ALL 8" D.I.P. WATERMAIN SHALL BE CLASS 52 UNLESS OTHERWISE NOTED.
 2. ALL 8" PVC SANITARY SEWER SHALL BE SDR 35 UNLESS OTHERWISE NOTED.
 3. SANITARY SERVICES SHALL BE 4" PVC SDR 26.
 4. WATER SERVICES SHALL BE 1" COPPER WITH 1" CORP.
 5. ALL HYDRANT LEADS SHALL BE 6" DIP CLASS 52.
 6. CONTRACTOR SHALL INSTALL HYDRANT AND VALVE EXTENSIONS AS NECESSARY WHERE WM HAS BEEN LOWERED TO AVOID CONFLICT WITH OTHER UTILITIES. EXTENSIONS SHALL BE CONSIDERED INCIDENTAL TO HYDRANT COST.
 7. ALL GV AND CURB BOXES SHALL BE EQUIPPED WITH EXTENSION RODS INSTALLED TO WITHIN ONE FOOT OF THE SURFACE.
 8. ALL SANITARY SEWER & WATERMAIN CONSTRUCTION SHALL CONFORM TO THE CITY OF NORWOOD YOUNG AMERICA'S STANDARD SPECIFICATIONS, DETAILS AND POLICIES.
 9. SANITARY SEWER PAY DEPTHS ARE FROM SUBGRADE ELEV.
 10. INSTALL ALL SERVICES 10' BEYOND PROPERTY LINE

SCALES:
1"=50' HOR
1"=10' VER



REV. NO.	DATE	BY	DESCRIPTION

DESIGNED	DRAWN
C.S.O.	T.J.B.
CHECKED	
C.S.O.	

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Cara M. Schwahn Otto

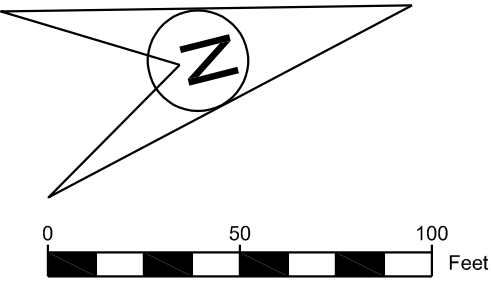
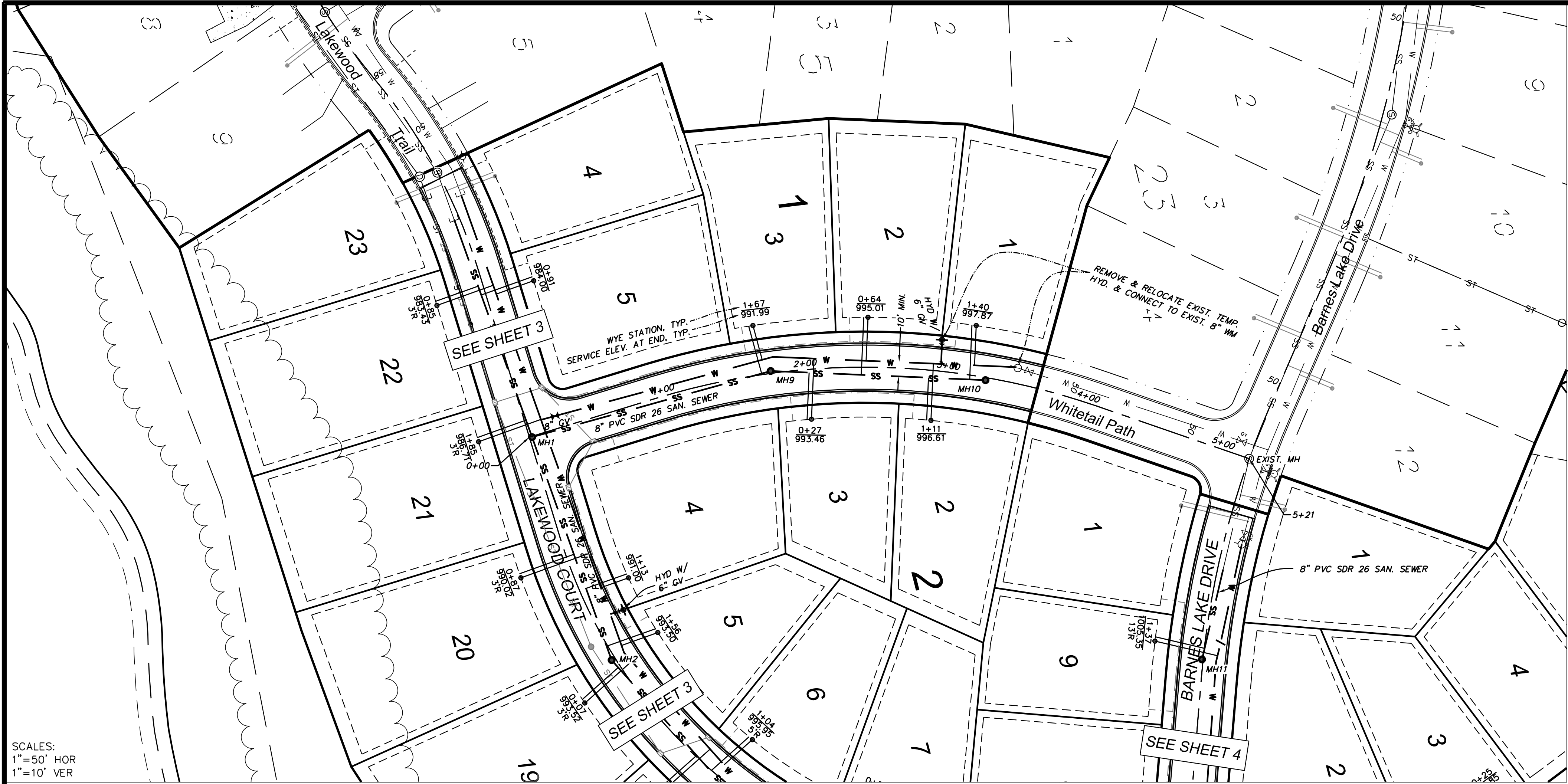
Cara M. Schwahn Otto
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THE PRESERVE 5TH ADDITION
LOOMIS HOMES, LLC
NORWOOD YOUNG AMERICA

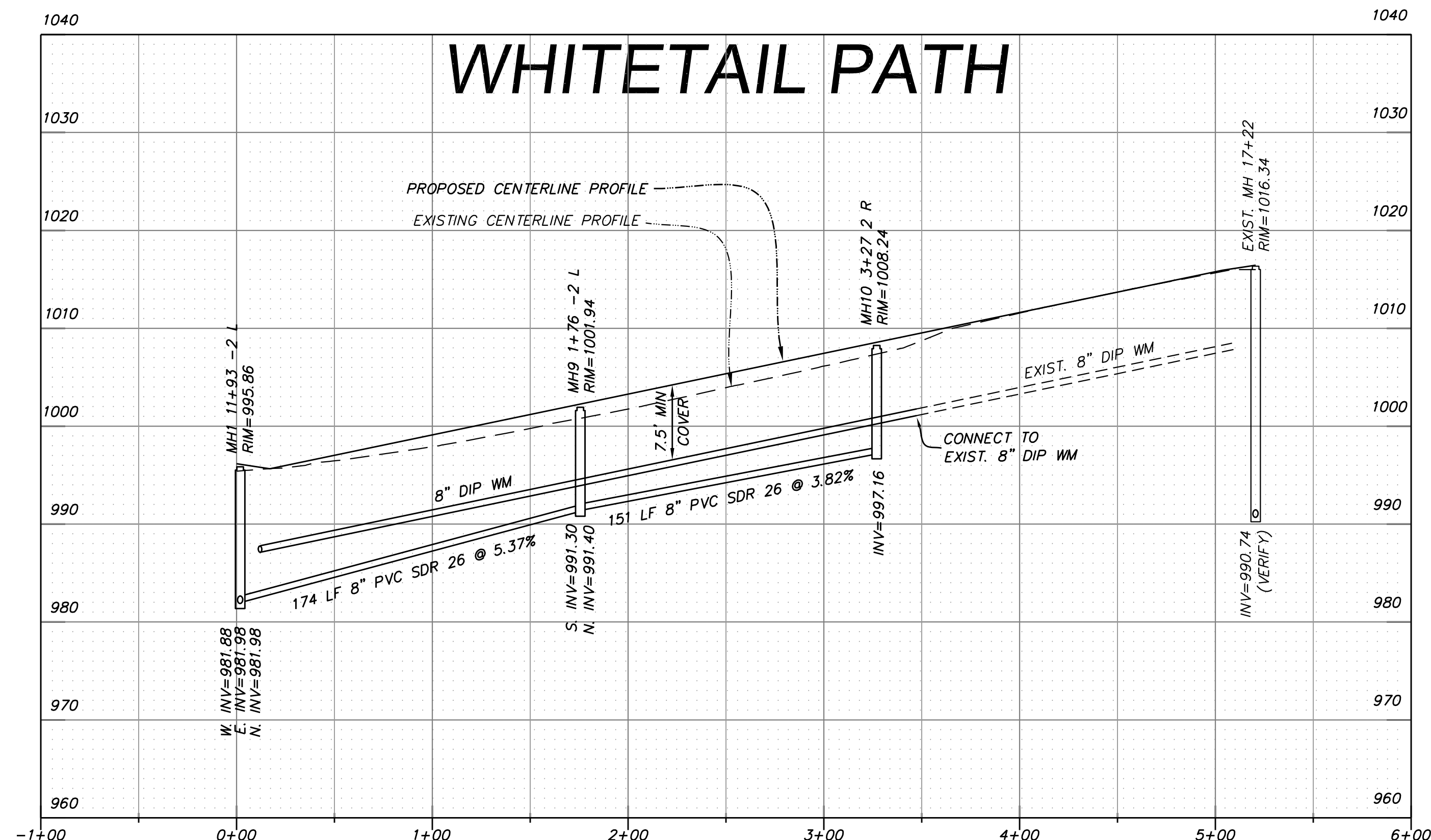
SANITARY & WATERMAIN BARNES LAKE DRIVE
SHEET NO. 4 OF 14 SHEETS

PROJECT NO: 17-0177
DATE: 5-11-17



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License # 40433
Date: 5-11-17

Engineers & Land Surveyors, Inc.

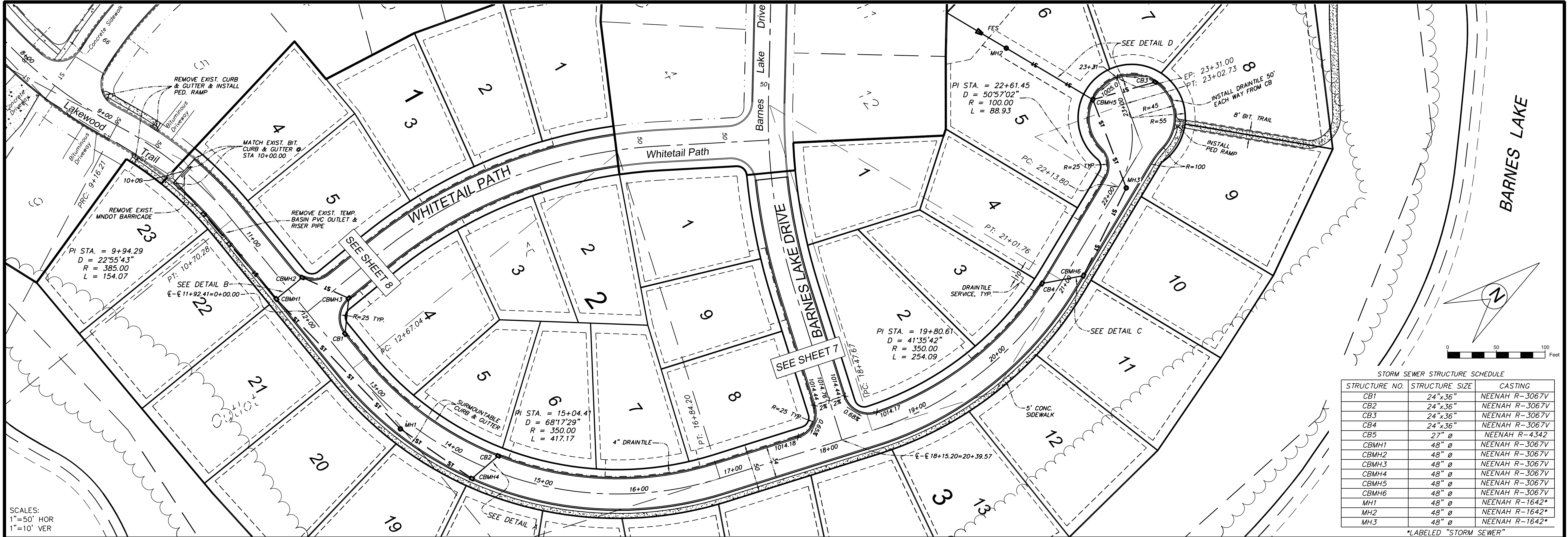
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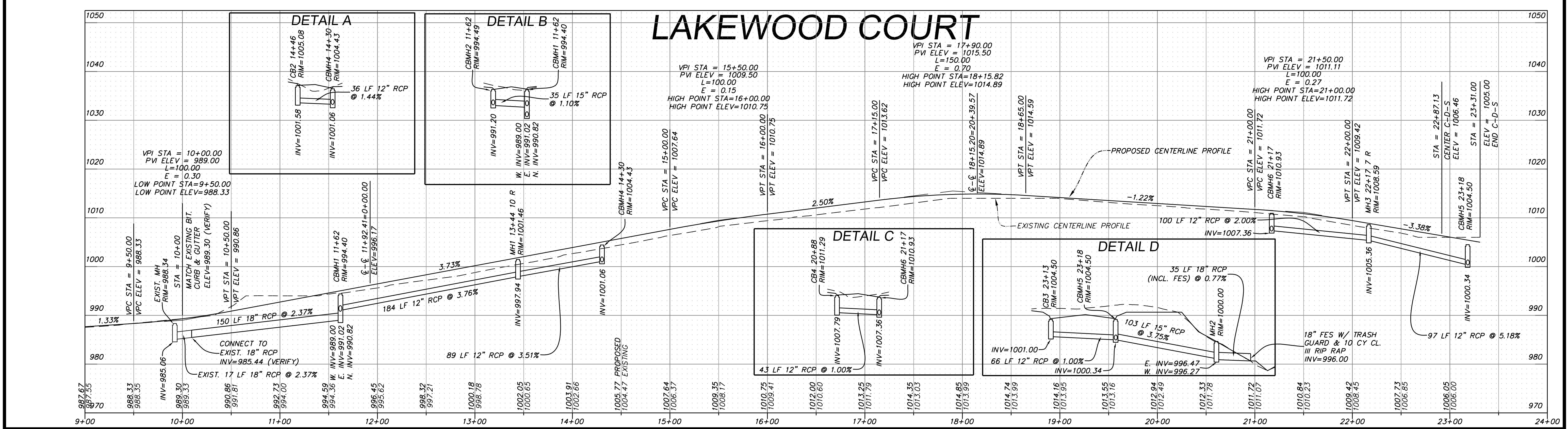
THE PRESERVE 5TH ADDITION
LOOMIS HOMES, LLC
NORWOOD YOUNG AMERICA

SANITARY & WATERMAIN
WHITETAIL PATH
SHEET NO. 5 OF 14 SHEETS

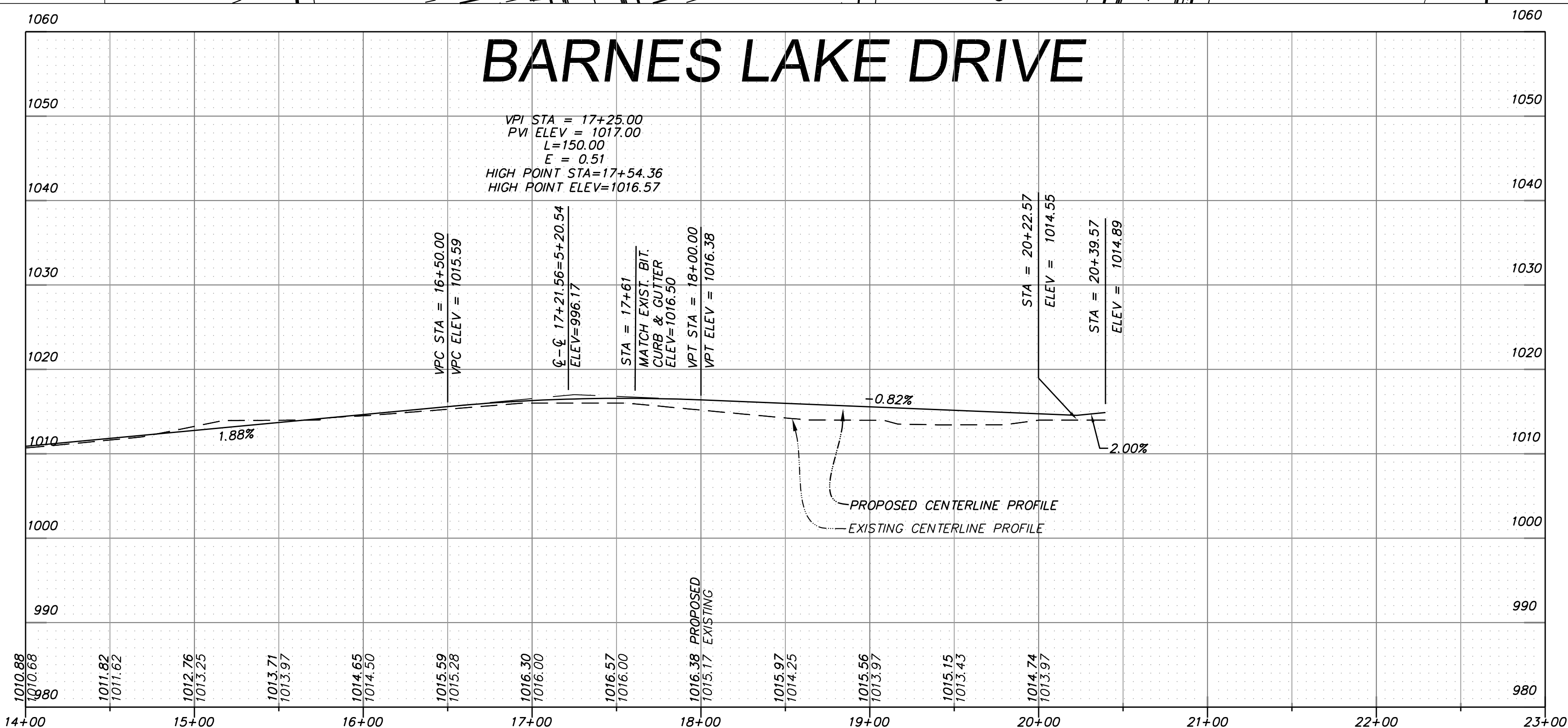
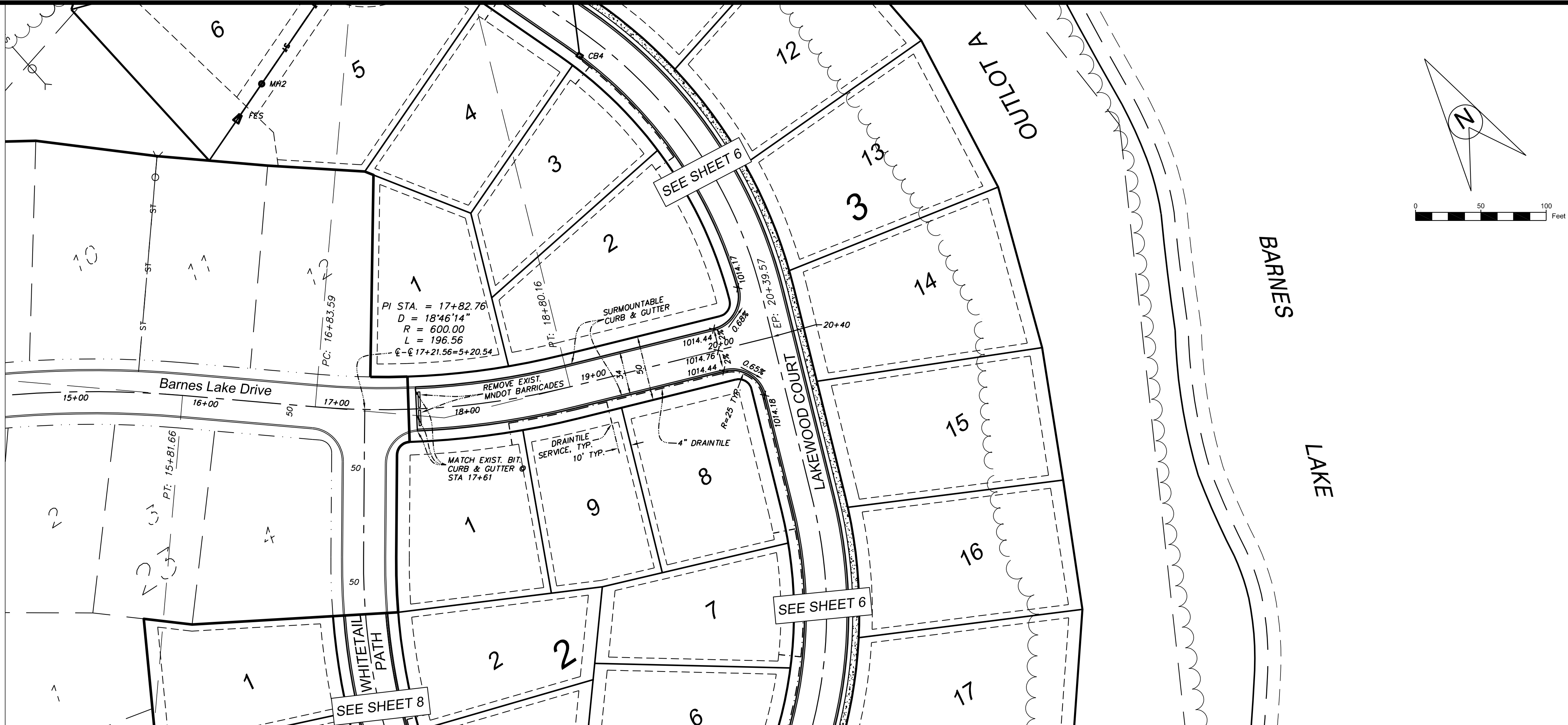
PROJECT NO:
17-0177
DATE: 5-11-17



STORM SEWER STRUCTURE SCHEDULE		
STRUCTURE NO.	STRUCTURE SIZE	CASTING
CB1	24"x36"	NEENAH R-3067V
CB2	24"x36"	NEENAH R-3067V
CB3	24"x36"	NEENAH R-3067V
CB4	24"x36"	NEENAH R-3067V
CB5	27" Ø	NEENAH R-4342
CBMH1	48" Ø	NEENAH R-3067V
CBMH2	48" Ø	NEENAH R-3067V
CBMH3	48" Ø	NEENAH R-3067V
CBMH4	48" Ø	NEENAH R-3067V
CBMH5	48" Ø	NEENAH R-3067V
CBMH6	48" Ø	NEENAH R-3067V
MH1	48" Ø	NEENAH R-1642*
MH2	48" Ø	NEENAH R-1642*
MH3	48" Ø	NEENAH R-1642*



SCALES:
1"=50' HOR
1"=10' VER



REV. NO.	DATE	BY	DESCRIPTION

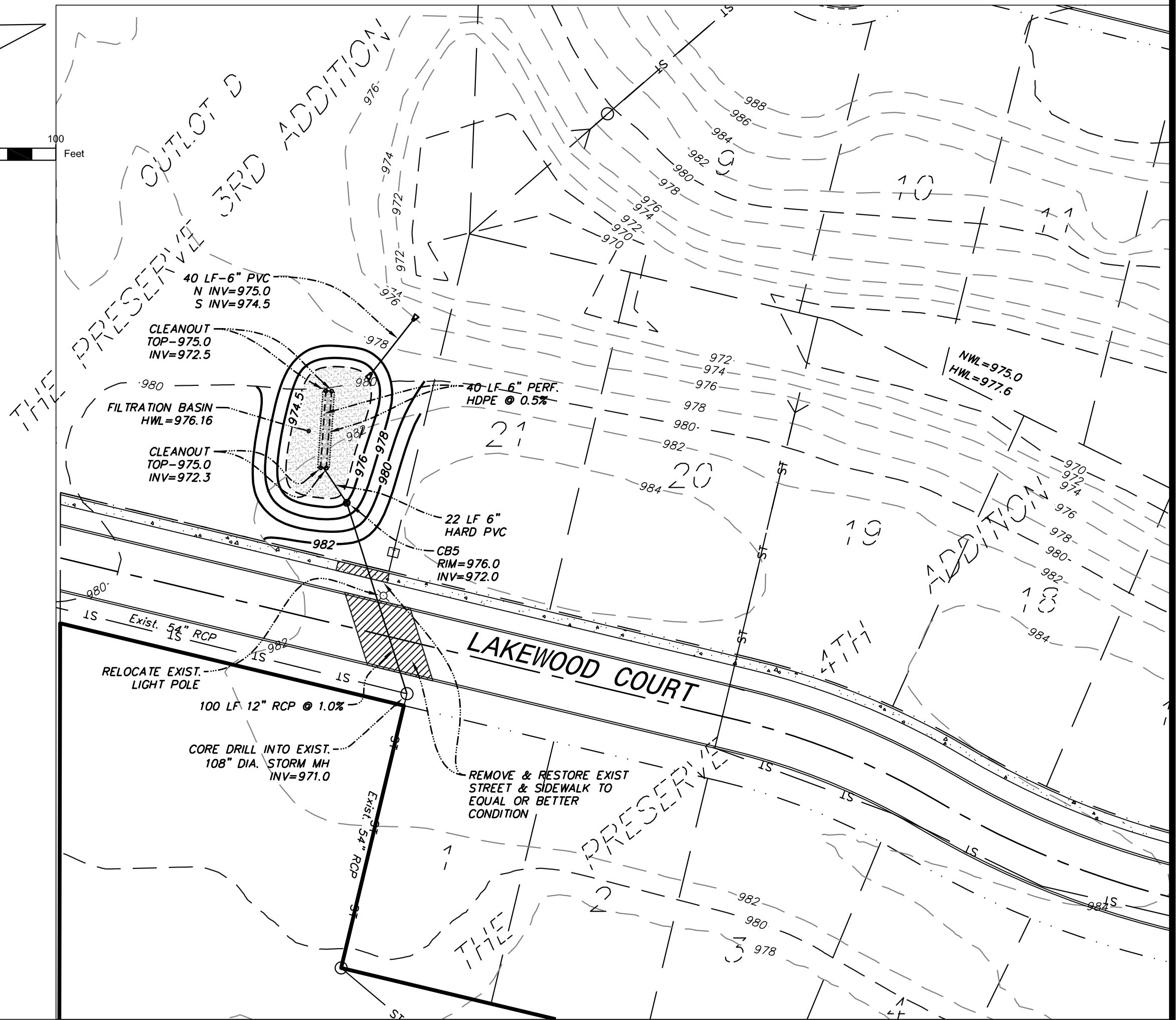
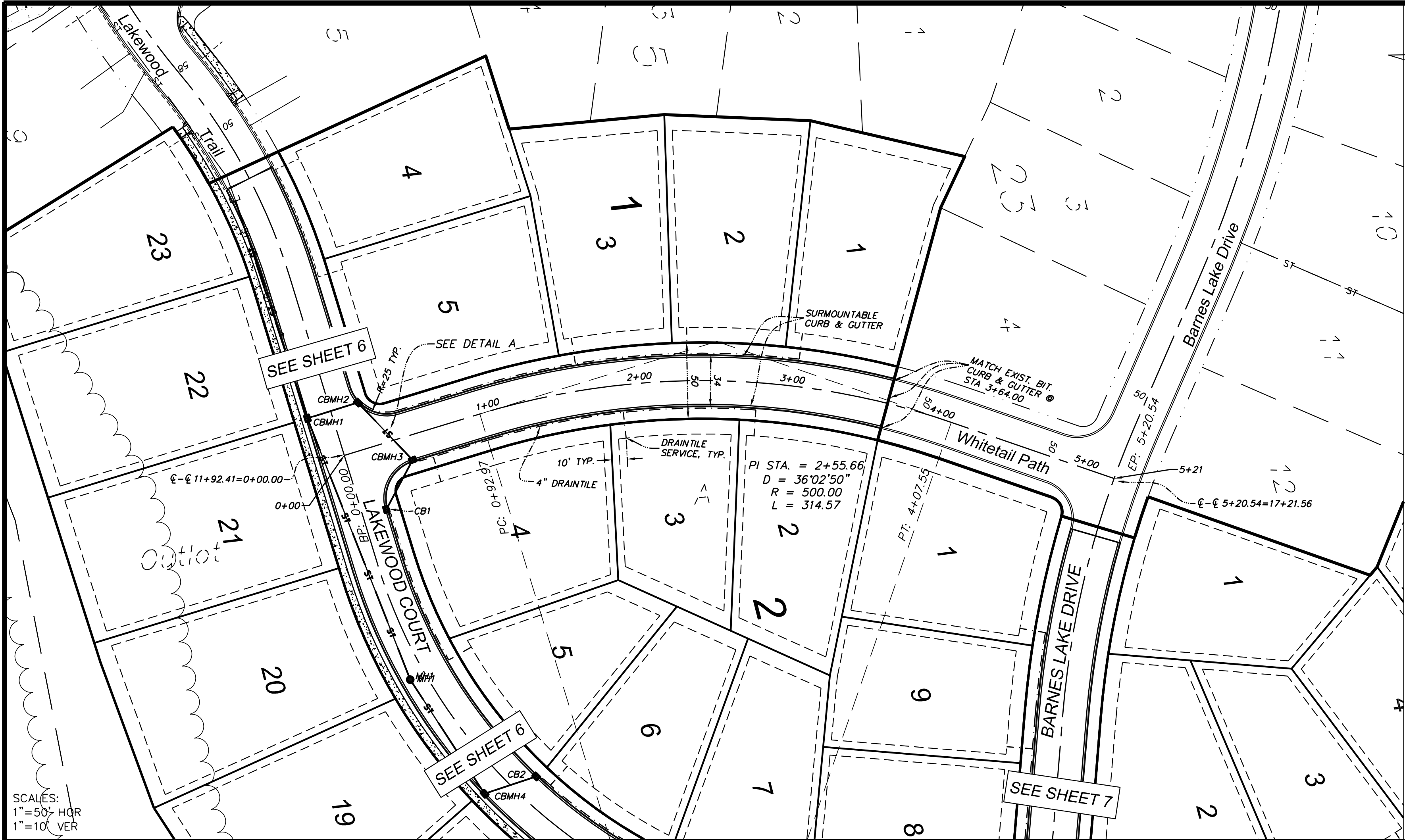
DESIGNED: C.S.O. DRAWN: T.J.B.
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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
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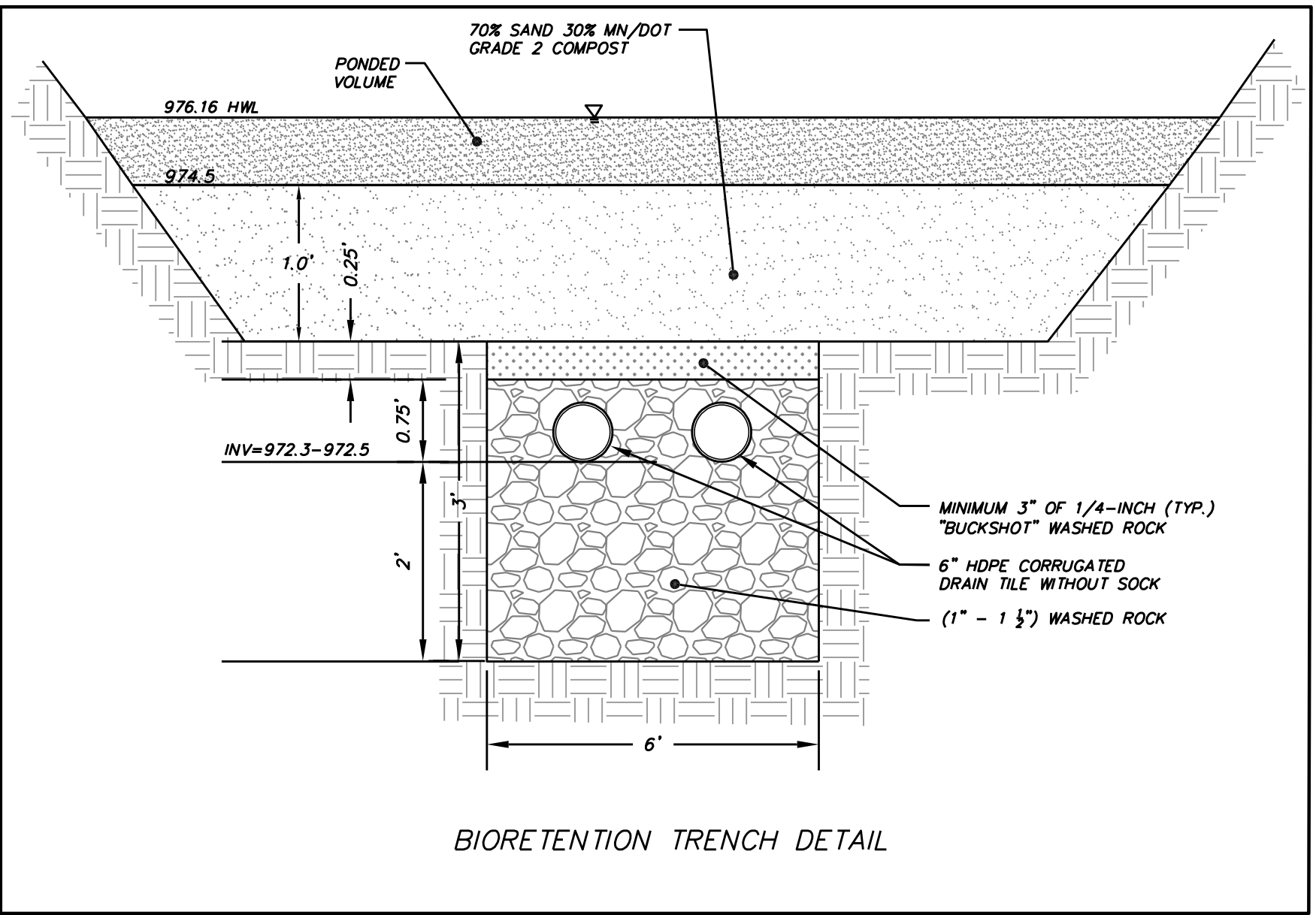
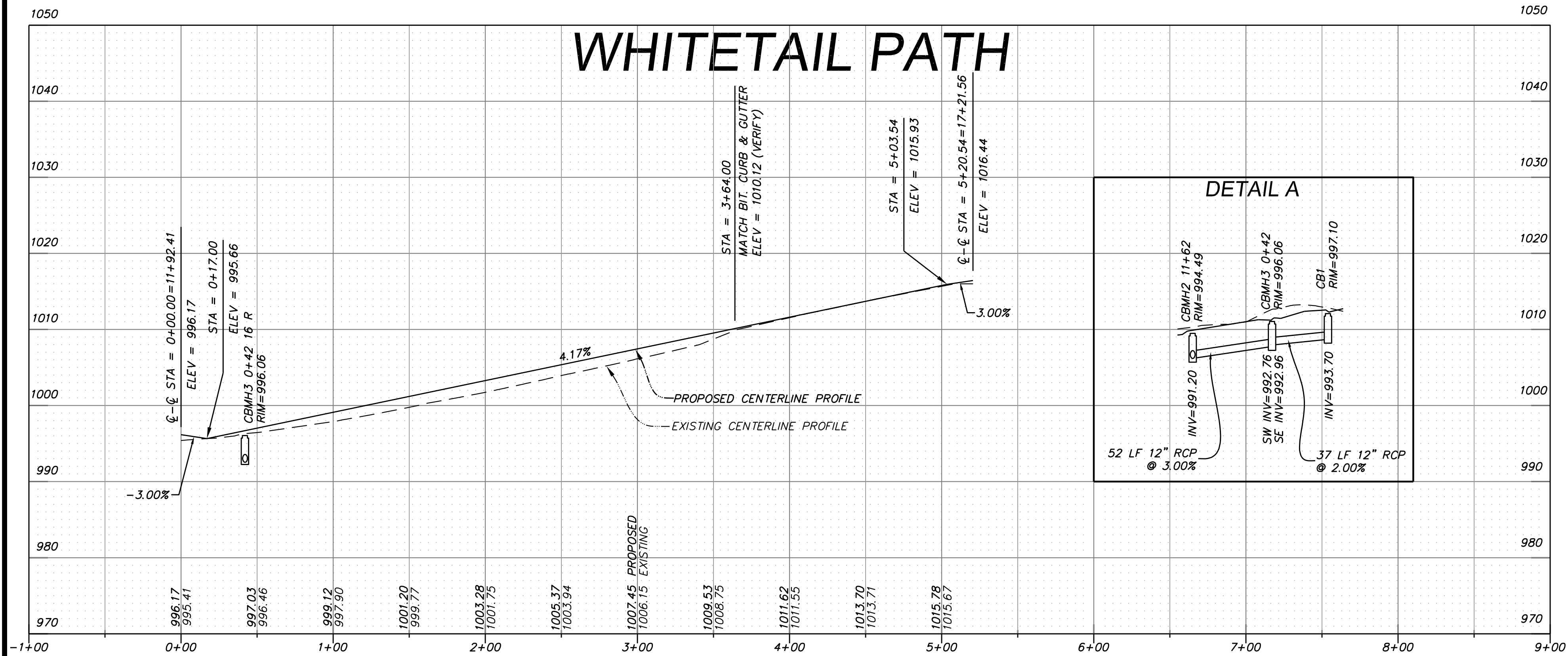
THE PRESERVE 5TH ADDITION
LOOMIS HOMES, LLC
NORWOOD YOUNG AMERICA

STREET & STORM SEWER PLAN
BARNES LAKE DRIVE
SHEET NO. 7 OF 14 SHEETS

PROJECT NO: 17-0177
DATE: 5-11-17



FILTRATION BASIN DETAIL



BIORETENTION TRENCH DETAIL

REV. NO.	DATE	BY	DESCRIPTION

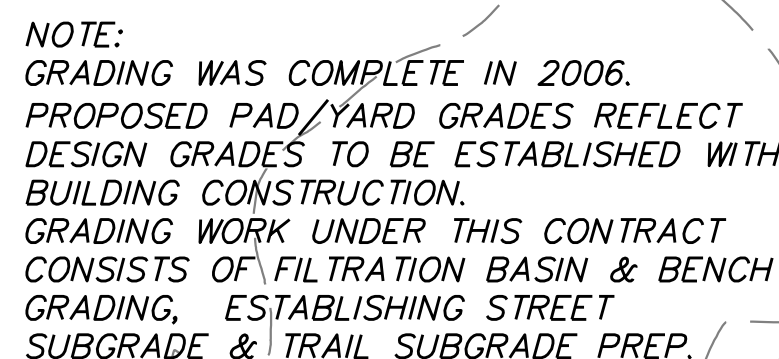
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CHECKED		
C.S.O.		

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THE PRESERVE 5TH ADDITION
LOOMIS HOMES, LLC
NORWOOD YOUNG AMERICA

STREET & STORM SEWER PLAN
WHITETAIL PATH
SHEET NO. 8 OF 14 SHEETS

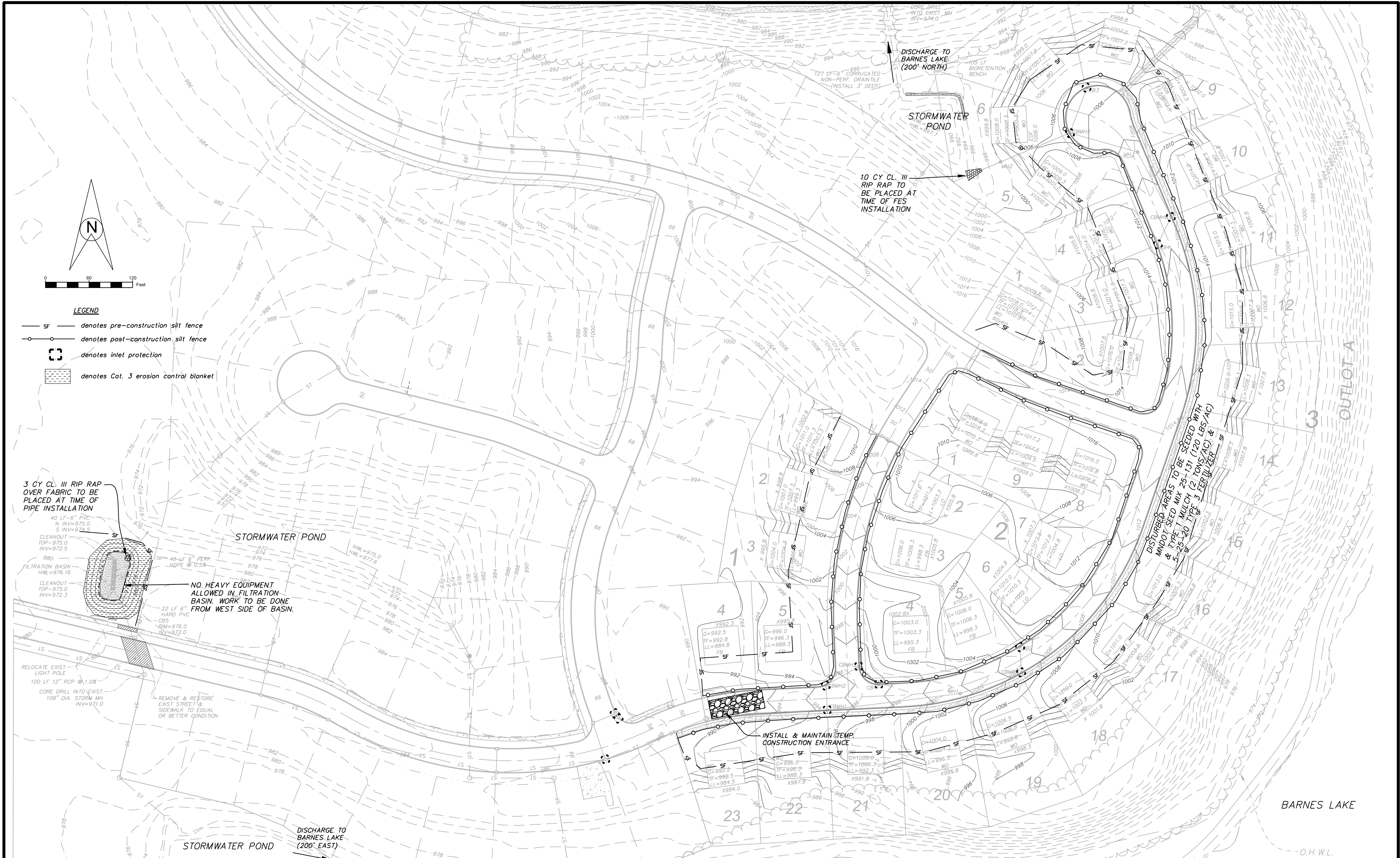
PROJECT NO:
17-0177
DATE:
5-11-17



NOTE:
GRADING WAS COMPLETE IN 2006.
PROPOSED PAD/YARD GRADES REFLECT
DESIGN GRADES TO BE ESTABLISHED WITH
BUILDING CONSTRUCTION.
GRADING WORK UNDER THIS CONTRACT
CONSISTS OF FILTRATION BASIN & BENCH
GRADING, ESTABLISHING STREET
SUBGRADE & TRAIL SUBGRADE PREP.



REV. NO.	DATE	BY	DESCRIPTION	DESIGNED	DRAWN	<div>I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</div> <div></div> <div>Cara M. Schwahn Otto License # 40433 Date: 5-11-17</div>	<div><div>OTTO ASSOCIATES Engineers & Land Surveyors, Inc.</div></div> <div>www.ottoassociates.com 9 West Division Street Buffalo, MN 55313 (763)682-4727 Fax: (763)682-3522</div>	<div>THE PRESERVE 5TH ADDITION LOOMIS HOMES, LLC NORWOOD YOUNG AMERICA</div>	<div>GRADING PLAN</div>	PROJECT NO:
			C.S.O.	T.J.B.	17-0177					
			CHECKED							
			C.S.O.							
SHEET NO. 9 OF 14 SHEETS						DATE: 5-11-17				



REV. NO.	DATE	BY	DESCRIPTION	DESIGNED	DRAWN	I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.	www.ottoassociates.com	THE PRESERVE 5TH ADDITION	STORMWATER POLLUTION PREVENTION PLAN	PROJECT NO:
				C.S.O.	T.J.B.		9 West Division Street Buffalo, MN 55313 (763)682-4727 Fax: (763)682-3522	LOOMIS HOMES, LLC		17-0177
				CHECKED		Cara M. Schwahn Otto License # 40433		NORWOOD YOUNG AMERICA	SHEET NO. 10 OF 14 SHEETS	DATE: 5-11-17
				C.S.O.		Date: 5-11-17				

GENERAL PROJECT INFORMATION

PROJECT LOCATION AND NARRATIVE:

THIS PROJECT CONSISTS OF A 37 LOT SUBDIVISION IN NORWOOD YOUNG AMERICA, MN. THE SITE IS LOCATED NEAR LONGITUDE -93.8984, LATITUDE 44.7734. THE SITE IS ACCESSED FROM LAKEWOOD TRAIL AND BARNES LAKE DRIVE.

CONSTRUCTION ACTIVITIES INCLUDE UTILITY INSTALLATION, AGGREGATE & BITUMINOUS PLACEMENT, CURB & SIDEWALK INSTALLATION, FILTRATION BASIN CONSTRUCTION & HOMEBUILDING. SITE GRADING AND STORMWATER MANAGEMENT FACILITIES WERE CONSTRUCTED AS PART OF A PREVIOUS PHASE UNDER MPCA PERMIT NUMBER C00015838.

CONSTRUCTION IS PLANNED TO BEGIN SUMMER OF 2017 AND END SUMMER OF 2018.

RESPONSIBLE PARTIES:

CONTRACTOR MUST BE TRAINED FOR BOTH CONSTRUCTION INSTALLER AND SITE MANAGEMENT PER REQUIREMENTS OF THE PERMIT, PART III.F.

LOOMIS HOMES LLC	SCOTT LOOMIS	952-200-8838
OWNER	CONTACT PERSON	PHONE

OTTO ASSOCIATES, INC.	CARA SCHWAHN OTTO	763-682-4727
PLAN PREPARER	CONTACT PERSON	PHONE

TRAINING: 1/20/2016 (EXPIRES 2019) U OF MN CERTIFICATION - DESIGN OF CONSTRUCTION SWPPP
3/29/2017 (EXPIRES 2020) U OF MN CERTIFICATION - SITE MANAGEMENT

CONTRACTOR (RESPONSIBLE FOR INSTALLATION & INSPECTION)	CONTACT PERSON	PHONE
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TRAINING: -----

CITY OF NORWOOD YOUNG AMERICA	STEVE HELGET	952-467-1805
PARTY RESPONSIBLE FOR LONG TERM O&M OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM		

PROJECT AREAS:

PROJECT SIZE (DISTURBED FOR SITE DEVELOPMENT) = 8.5 ACRES
TOTAL PROJECT SIZE (INCLUDING HOMEBUILDING) = 14.3 ACRES

EXISTING AREA OF IMPERVIOUS SURFACE = 0.00 ACRES
POST-CONSTRUCTION AREA OF IMPERVIOUS SURFACE = 4.47 ACRES
TOTAL NEW IMPERVIOUS SURFACE AREA CREATED = 4.47 ACRES

RECEIVING WATERS:

SURFACE WATERS AND WETLANDS THAT WILL RECEIVE STORM WATER RUNOFF FROM THE SITE AND ARE WITHIN ONE (1) MILE OF THE SITE ARE INDICATED WITH DIRECTION ARROW ON THE SWPPP PLAN SHEET AND ARE LISTED BELOW:

NAME OF WATER BODY	IMPAIRED WATER
BARNES LAKE	NO

THE OWNER SHALL SUBMIT A NOTICE OF TERMINATION (NOT) AFTER ONE OF THE FOLLOWING HAS BEEN COMPLETED, WHICHEVER OCCURS FIRST.

1. WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE.
2. WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE.

ALTERNATIVELY, THE OWNER MAY SUBMIT A PERMIT MODIFICATION FORM FOR EACH HOMEBUILDER/HOMEOWNER AS LOTS ARE SOLD. THE NEW OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR AMENDING THE SWPPP AS NECESSARY TO SPECIFICALLY ADDRESS THEIR WORK AND SUBMIT A NOTICE OF TERMINATION (NOT) ACCORDING TO THE SAME REQUIREMENTS ABOVE.

CONSTRUCTION ACTIVITY NOTES

ALL CONSTRUCTION ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MPCA'S NPDES GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY.

EROSION PREVENTION:

ALL EXPOSED SOIL AREAS (INCL. STOCKPILES) MUST BE STABILIZED. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION BUT COMPLETED NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY TURF RESTORATION SHALL BE MNDOT SEED MIX 25-131 @ 120 LB/ACRE OR 25-121 @ 61 LBS/ACRE (SEE BID FORM) WITH MNDOT TYPE 1 MULCH @ 2 TONS/ACRE (DISC ANCHORED) AND 5-25-20 TYPE 3 FERTILIZER (350 LBS/ACRE). STABILIZATION MUST BE INITIATED IMMEDIATELY BUT IN NO CASE COMPLETED LATER THAN 14 DAYS AFTER THE ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

PERMANENT TURF RESTORATION SHALL BE SOD OR SEED AFTER HOME CONSTRUCTION.

ENERGY DISSIPATION (RIP RAP) AT ALL OUTLET APRONS SHALL BE INSTALLED WITHIN 24 HOURS OF CONNECTION TO SURFACE WATER.

SEDIMENT CONTROL PRACTICES:

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL SEDIMENT-LADEN SURFACE WATER FROM LEAVING THE CONSTRUCTION ZONE. ALL MOBILIZED SEDIMENT THAT HAS LEFT THE CONSTRUCTION ZONE SHALL BE COLLECTED BY THE CONTRACTOR AND PROPERLY DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER.

A 50 FOOT NATURAL BUFFER IS SHALL BE MAINTAINED FROM ALL SURFACE WATERS. WHERE THIS IS NOT FEASIBLE, REDUNDANT SEDIMENT CONTROLS SHALL BE INSTALLED.

ENTERING/EXITING THE SITE SHALL OCCUR ONLY AT TEMPORARY CONSTRUCTION ENTRANCES TO LIMIT TRACKING OF SEDIMENT ONTO STREETS.

SEDIMENT TRACKED ONTO STREETS DURING WORKING HOURS MUST BE RECLAIMED VIA SCRAPING AND SWEEPING AT END OF EACH WORKING DAY.

TEMPORARY SOIL STOCKPILES SHALL HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS INSTALLED AROUND THE PERIMETER. NO STOCKPILE MAY BE PLACED IN ANY NATURAL BUFFERS OR SURFACE WATERS.

CONSTRUCTION SEQUENCING:

- 1) PRECONSTRUCTION MEETING.
- 2) INSTALL PERIMETER SILT FENCE & CONSTRUCTION ENTRANCE.
- 3) INSTALL DOWNSTREAM INLET PROTECTION TO OFF-SITE CATCH BASINS.
- 4) CLEARING & GRUBBING.
- 5) INSTALL UTILITIES.
- 6) INSTALL INLET PROTECTION DEVICES ON NEW CATCH BASINS.
- 7) STREET CONSTRUCTION.
- 8) STABILIZE SITE AS INDICATED ON THE PLANS.
- 9) PRIVATE UTILITY INSTALLATION.
- 10) SEED AND MULCH AREAS DISTURBED BY PRIVATE UTILITY INSTALLATION & INSTALL CURBLINE SILT FENCE.
- 11) HOME CONSTRUCTION.
- 12) RESTORE SITE WITH PERMANENT RESTORATION AS HOMES ARE BUILT.
- 13) REMOVE SEDIMENT CONTROL DEVICES & SUBMIT NOTICE OF TERMINATION (NOT) TO MPCA ONCE ALL DISTURBED AREAS HAVE 70% VEGETATIVE DENSITY.

EROSION & SEDIMENT CONTROL BMP ESTIMATED QUANTITIES:

QUANTITIES LISTED ARE APPROXIMATE. REFER TO CONTRACT DOCUMENTS FOR EXACT QUANTITIES.

BMP	QUANTITY
SILT FENCE	7230 LF
ROCK CONST. ENTRANCE	1
MNDOT SEED MIX 25-131, TYPE 1 MULCH, 5-25-20 TYPE 3 FERTILIZER	8.5 AC
MNDOT 3885 CAT. 3 EROSION BLANKET	5,970 SF
INLET PROTECTION	13 EACH
CL. III RIP RAP	13 CY

DEWATERING:

ANY DEWATERING SHALL BE DISCHARGED TO A TEMPORARY SEDIMENTATION BASIN. IF THE WATER CANNOT BE DISCHARGED TO A BASIN PRIOR TO ENTERING THE SURFACE WATER, AN APPROVED ALTERNATE BMP SHALL BE USED SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER.

CONSTRUCTION NOTES

INSPECTIONS AND MAINTENANCE:

THE CONTRACTOR MUST ROUTINELY INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS OF A RAINFALL EVENT GREATER THAN 0.5 INCHES IN A 24-HR PERIOD. INSPECTION LOGS SHALL INCLUDE ANY CORRECTIVE MEASURES TAKEN.

ALL INSPECTIONS MUST BE RECORDED AND RECORDS RETAINED WITH THE SWPPP ON SITE. THE SWPPP, ALONG WITH INSPECTIONS AND MAINTENANCE RECORDS, SHALL BE RETAINED FOR THREE YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION (NOT).

SILT FENCE MUST BE MAINTAINED WHEN ACCUMULATED SEDIMENT REACHES 1/3 OF THE DEVICE HEIGHT. INLET PROTECTION DEVICES SHALL BE CLEANED ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAINSTORM EVENT. REMOVAL AND DISPOSAL OF THE SEDIMENT SHALL BE INCIDENTAL TO THE CONTRACT.

TEMPORARY CONSTRUCTION ENTRANCE(S) SHALL BE CLEANED AND REFRESHED AS NECESSARY TO CONFORM TO DETAIL.

OFF-SITE VEHICLE TRACKING SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY.

ALL NON-FUNCTIONAL BMP'S MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

POLLUTION PREVENTION:

ALL SOLID WASTE GENERATED BY/COLLECTED FROM THE CONSTRUCTION SITE MUST BE DEPOSITED IN A DUMPSTER.

NO CONSTRUCTION MATERIAL SHALL BE BURIED OR BURNED ONSITE.

ALL HAZARDOUS MATERIALS (OIL, GASOLINE, FUEL, PAINT, ETC) MUST BE PROPERLY STORED/CONTAINED TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS. ALL VEHICLES LEFT ONSITE SHALL BE MONITORED FOR LEAKS TO REDUCE THE CHANCE OF CONTAMINATION.

EXTERNAL WASHING OF TRUCKS OR OTHER CONSTRUCTION VEHICLES, ENGINE DEGREASING, NOR CONCRETE WASHOUTS ARE ALLOWED ON SITE. TRUCKS ARE TO USE SELF-CONTAINED WASHOUT SYSTEM.

THE CONTRACTOR SHALL MONITOR AND PROVIDE DUST CONTROL CORRECTION WHEN NEEDED. THIS WORK IS CONSIDERED INCIDENTAL TO THE CONTRACT.

ALL SPILLS SHALL BE CLEANED IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORM CONVEYANCE SYSTEM SHALL BE REPORTED TO THE MPCA STATE DUTY OFFICER AT 1-800-422-0798.

FINAL STABILIZATION:

THE CONTRACTOR MUST ENSURE FINAL STABILIZATION OF THE SITE. THE PERMITEE MUST SUBMIT A NOTICE OF TERMINATION WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE OR SITE CONTROL HAS BEEN PASSED TO ANOTHER OWNER.

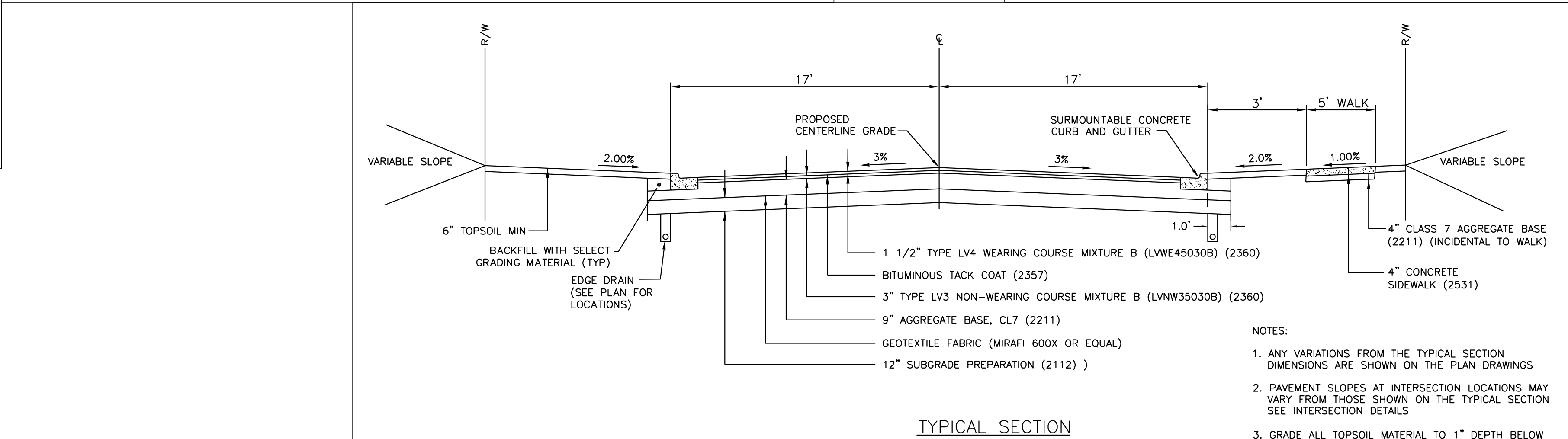
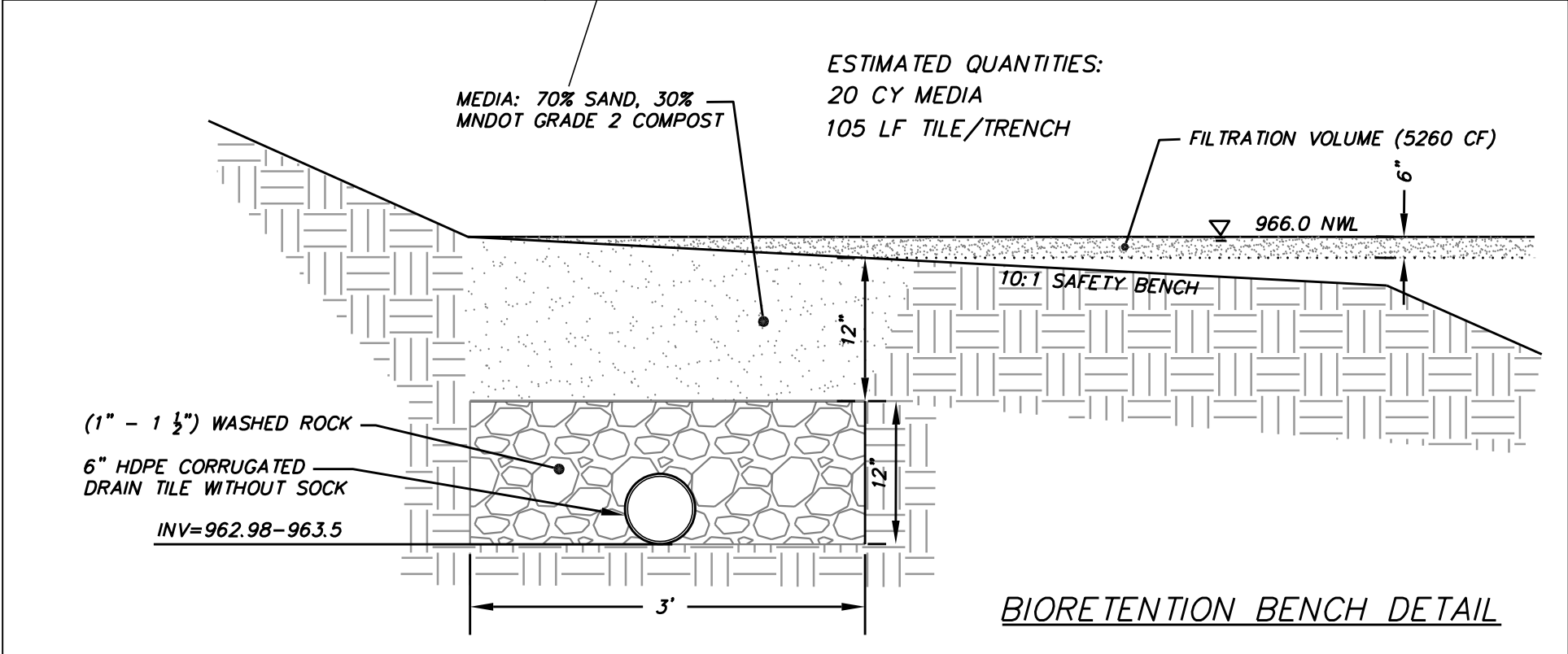
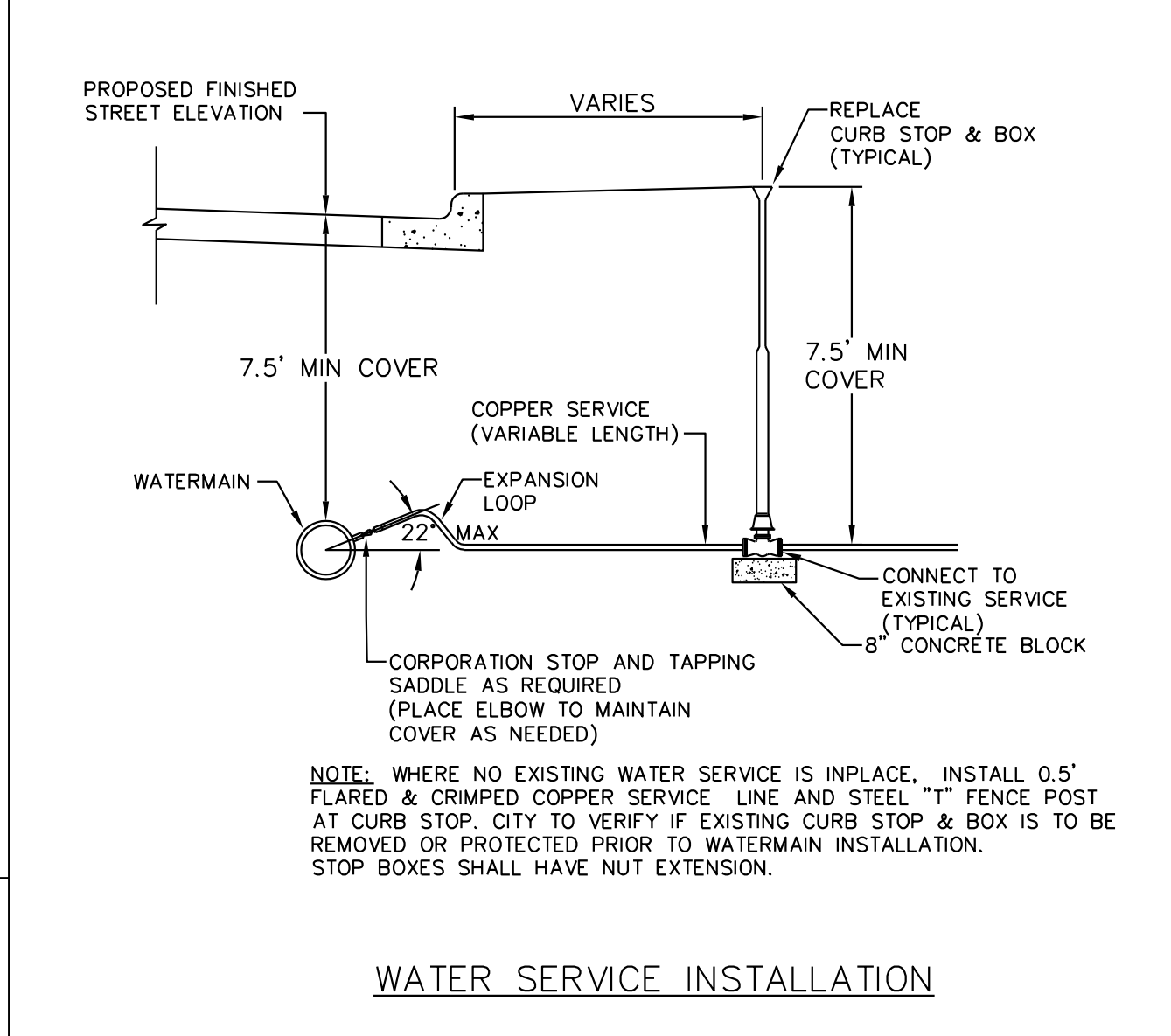
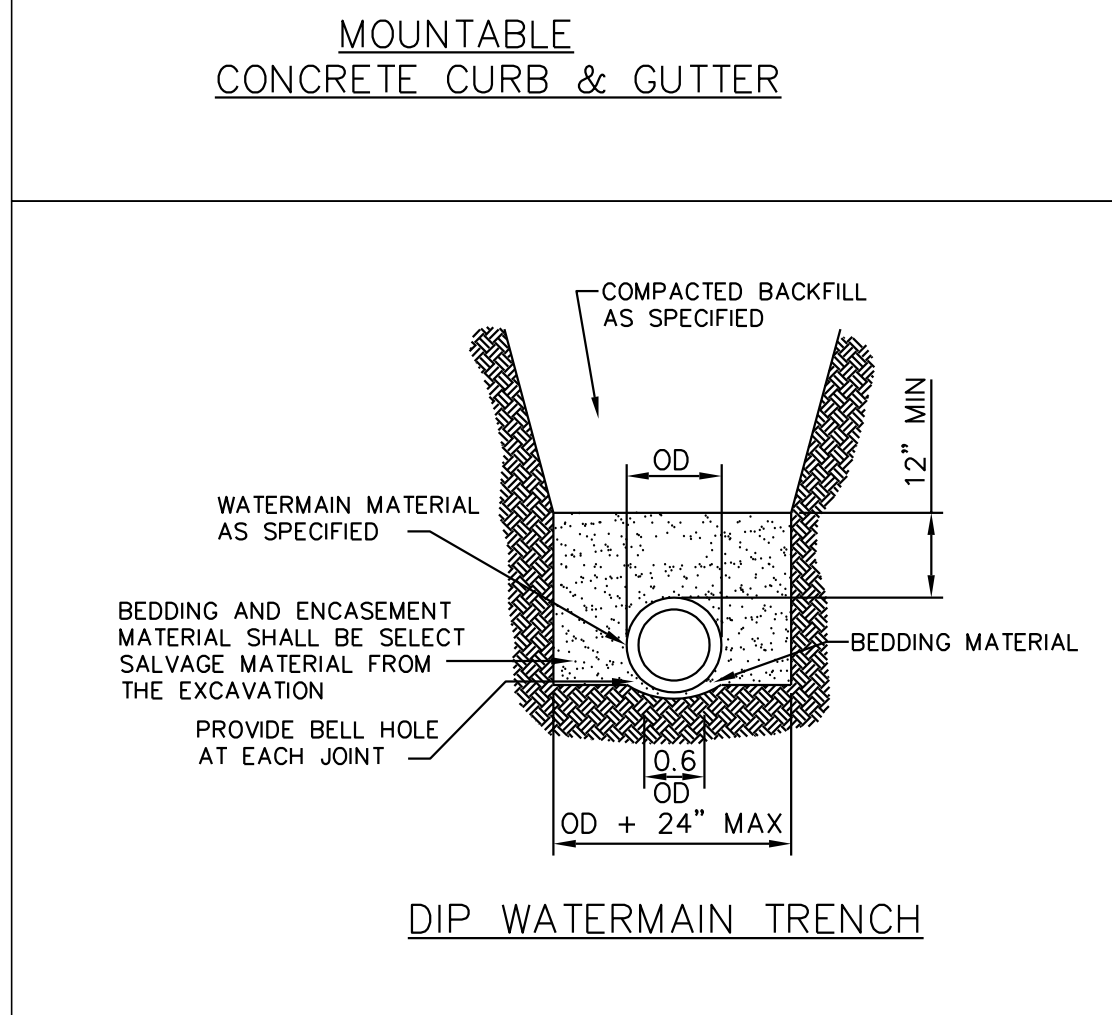
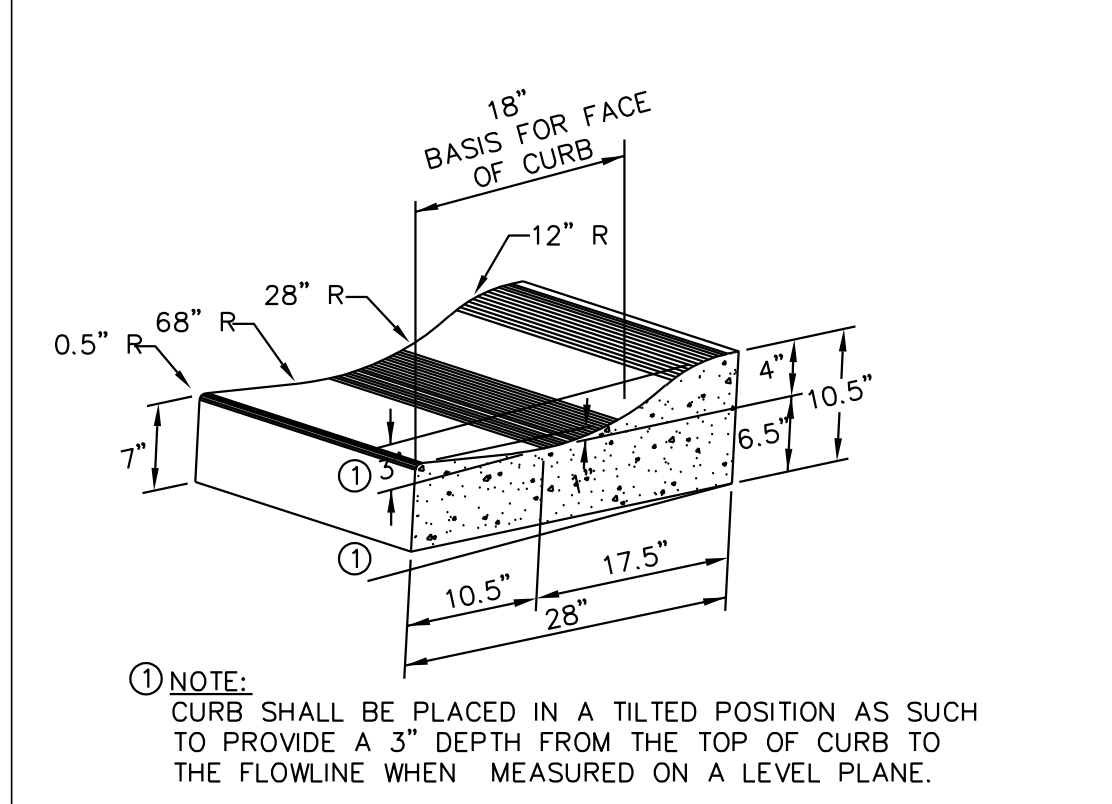
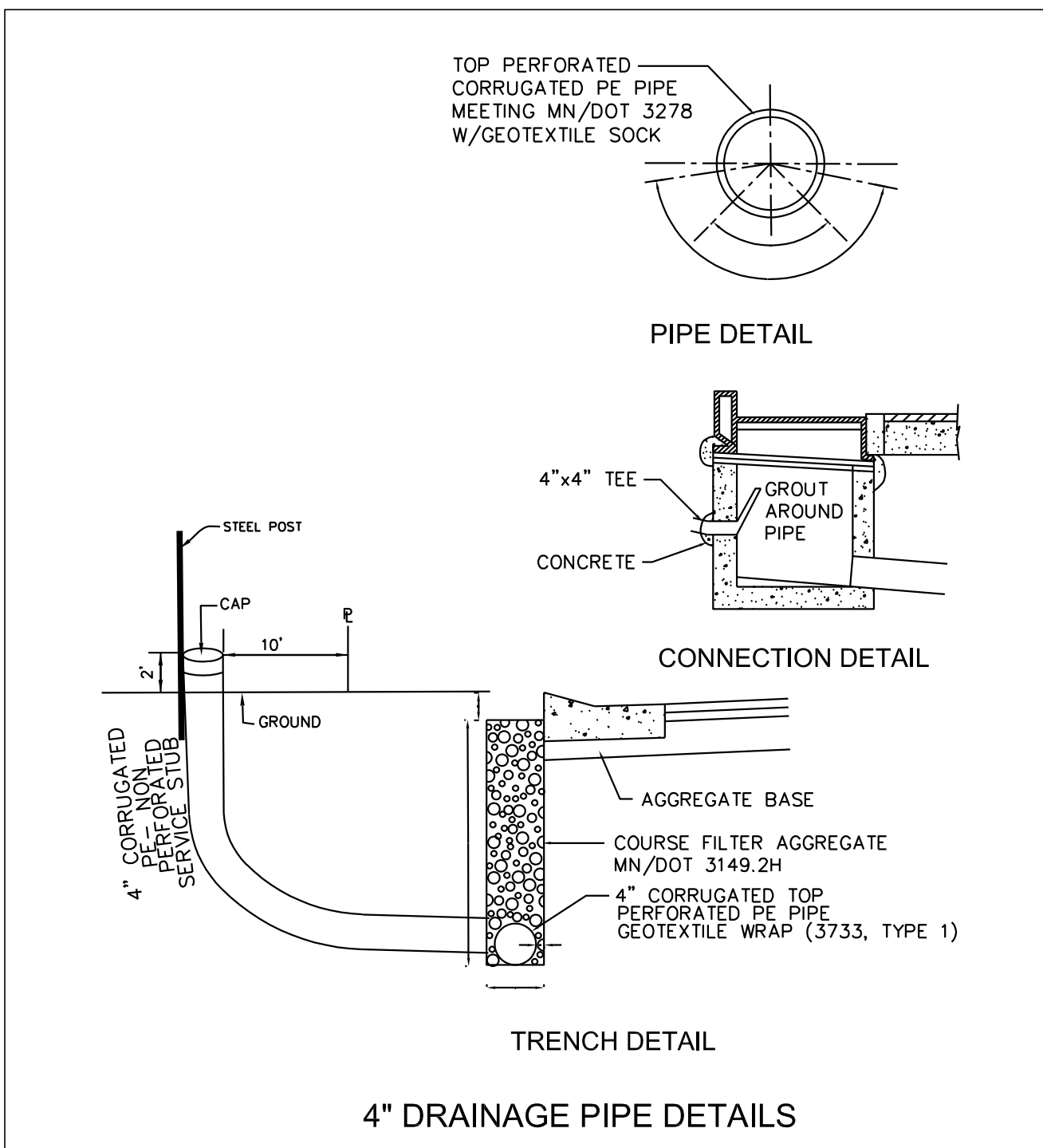
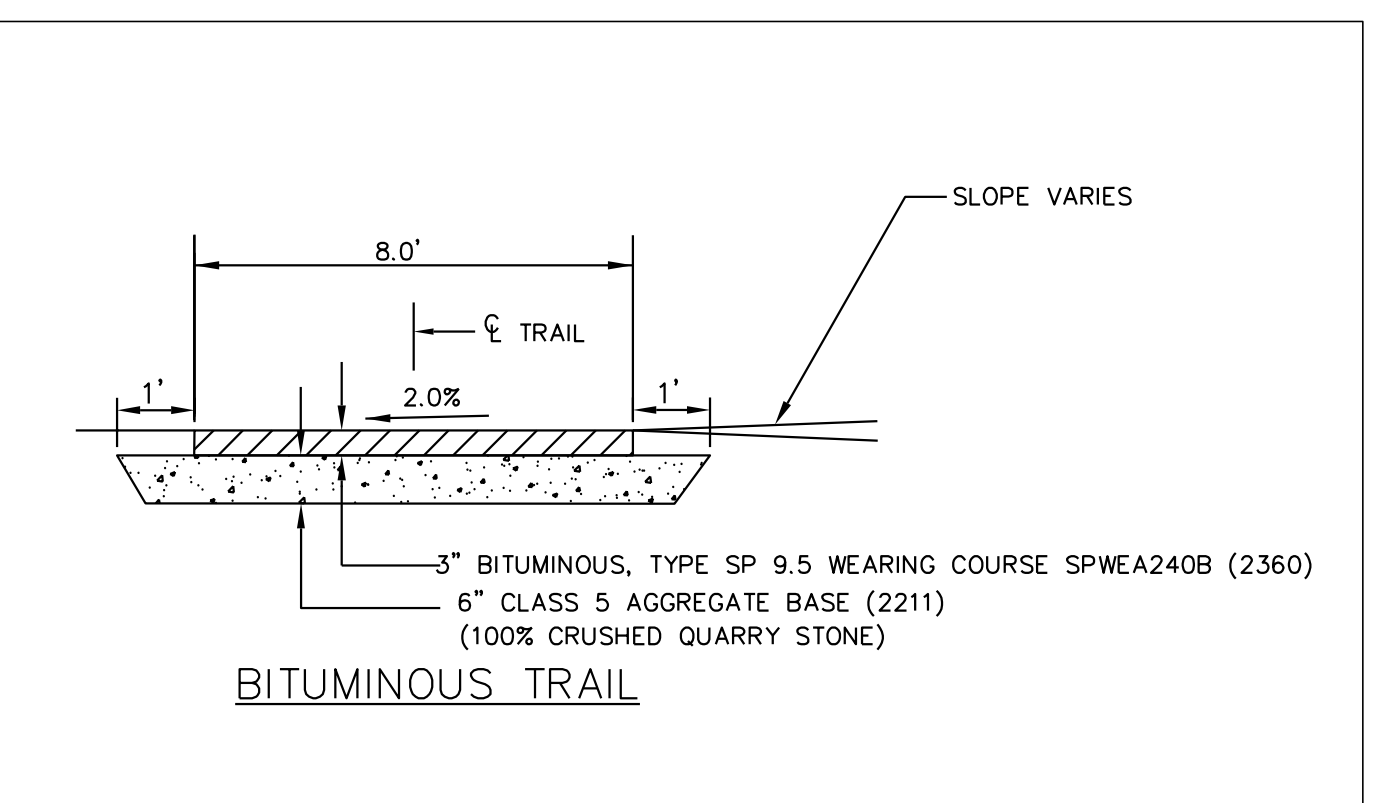
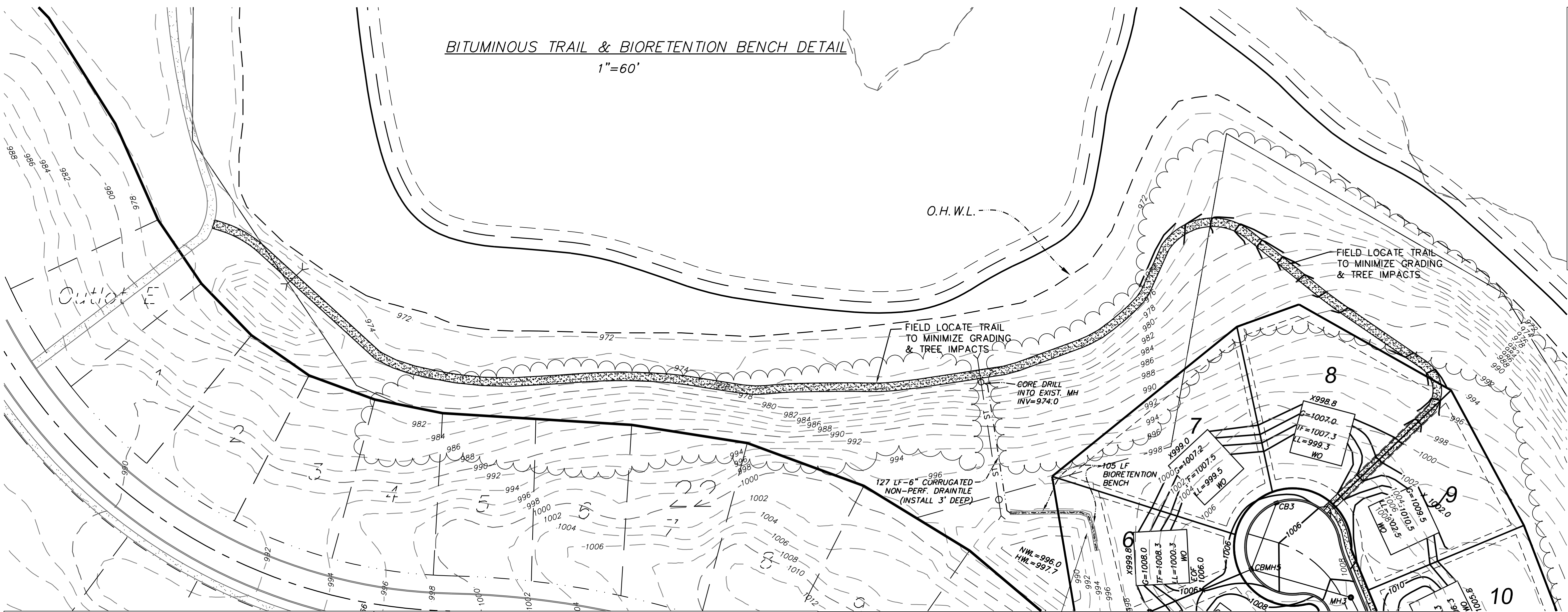
SUFFICIENT TOPSOIL (6") SHALL BE PLACED ON DISTURBED AREAS FOR RE-VEGETATION.

ALL TEMPORARY EROSION CONTROL MEASURES AND BMP'S MUST BE REMOVED AS PART OF THE FINAL SITE STABILIZATION.

TRAINING REQUIREMENTS:

CONTRACTOR MUST BE TRAINED FOR BOTH CONSTRUCTION INSTALLER AND SITE MANAGEMENT PER REQUIREMENTS OF THE PERMIT, PART III.F. DOCUMENTATION SHALL BE ADDED TO THE SWPPP DOCUMENTS LOCATED ONSITE.

REV. NO.	DATE	BY	DESCRIPTION	DESIGNED C.S.O.	DRAWN T.J.B.	I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. _____ Cara M. Schwahn Otto License # 40433 Date: 5-11-17	 <div>www.ottoassociates.com 9 West Division Street Buffalo, MN 55313 (763)682-4727 Fax: (763)682-3522</div>	THE PRESERVE 5TH ADDITION LOOMIS HOMES, LLC NORWOOD YOUNG AMERICA	STORMWATER POLLUTION PREVENTION PLAN	PROJECT NO: 17-0177
				CHECKED C.S.O.						DATE: 5-11-17
									SHEET NO. 11 OF 14 SHEETS	



REV. NO.	DATE	BY	DESCRIPTION

DESIGNED	DRAWN
C.S.O.	T.J.B.
CHECKED	
C.S.O.	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

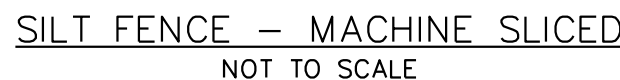
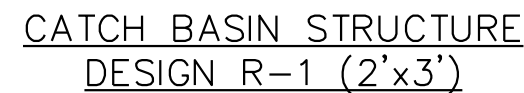
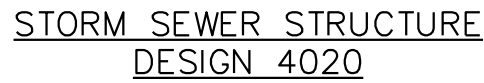
Cara M. Schwahn Otto
Cara M. Schwahn Otto
License # 40433
Date: 5-11-17

OTTO ASSOCIATES
Engineers & Land Surveyors, Inc.

www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522

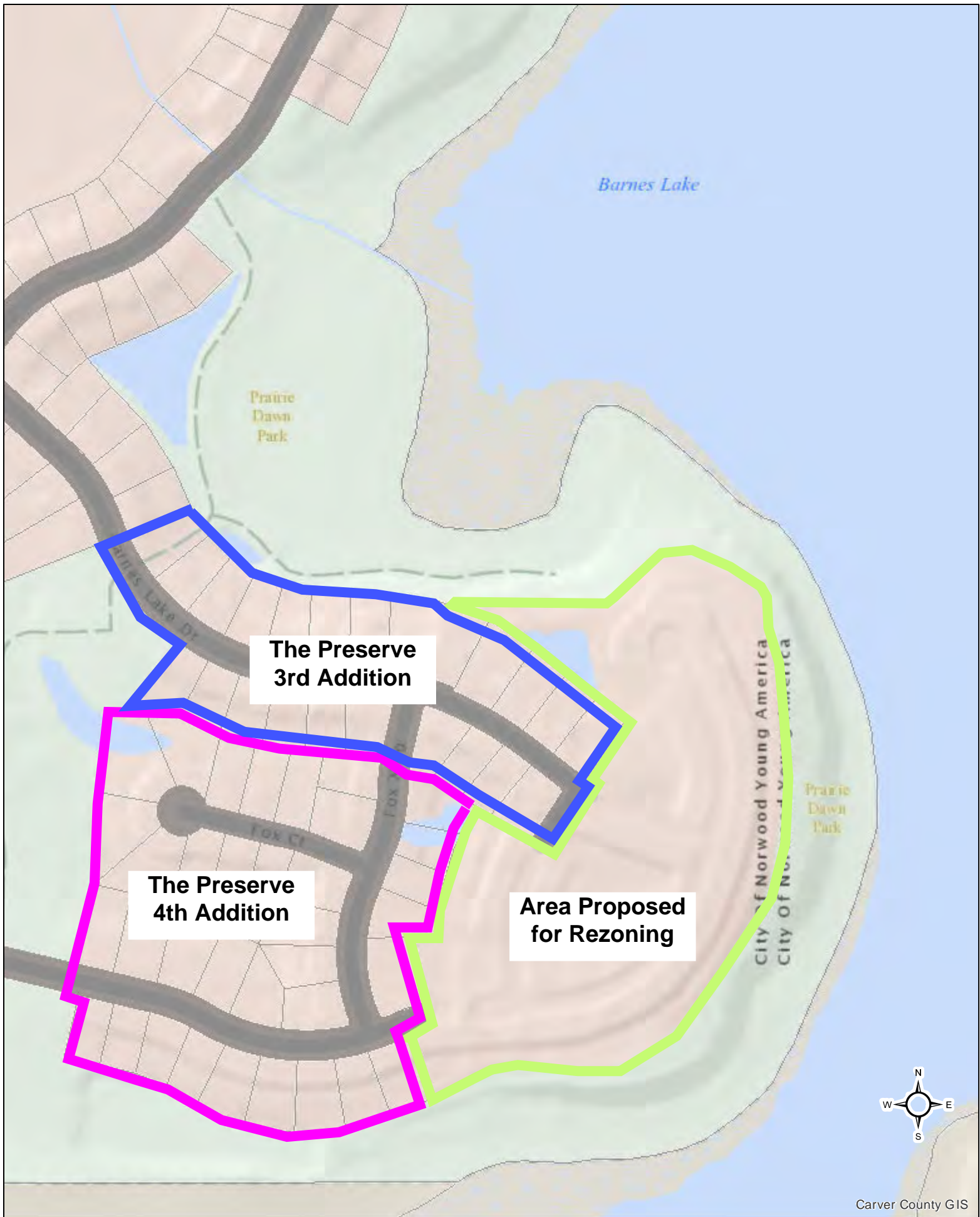
THE PRESERVE 5TH ADDITION
LOOMIS HOMES, LLC
NORWOOD YOUNG AMERICA

PROJECT NO:	17-0177
DATE:	5-11-17
SHEET NO. 13 OF 14 SHEETS	



PRAP, SEE PLAN
OR LOCATION &
QUANTITY, TABLE FOR
REFERENCE ONLY

ANCHOR CLIPS TO
SH GUARD TO
SECTION HOT DIP
AFTER



This map was created using Carver County's Geographic Information Systems (GIS), it is a compilation of information and data from various City, County, State, and Federal offices. This map is not a surveyed or legally recorded map and is intended to be used as a reference. Carver County is not responsible for any inaccuracies contained herein.

Map Date: 5/27/2017

THE PRESERVE 5TH ADDITION DECLARATION OF PROTECTIVE COVENANTS

WHEREAS, Declarant hereby imposes upon and subjects said Lots, for the benefit of said Lots only and the present and future owners thereof, to the following conditions, restrictions, reservations and covenants which shall operate as restrictions passing with the conveyance of every Lot and shall apply to and bind every successor in interest.

1. **DEFINITIONS.** The following words or terms used in this Declaration shall have the meanings herein ascribed to them.
 - a. **"Developer"**: means The Preserve 5th Addition, LLC, a Minnesota Limited Liability Company, its successors or assigns.
 - b. **"Lot"**: means any Lot included within the scope of this Declaration and as shown upon the recorded subdivision plat of the Preserve 5th Addition.
 - c. **"Lot Owner"**: means the record owner, whether one or more persons or entities, of title to any Lot subject to these covenants, including purchasers under a contract for deed.
2. **TYPE OF STRUCTURE PERMITTED.** No Lot shall be used except for residential purposes. No structure shall be erected, altered, placed or permitted to remain on any Lot other than one (1) detached single family dwelling not to exceed two (2) stories in height above ground level, and a private garage for not less than two (2) automobiles. Garages shall be directly attached to the dwelling. Outside storage buildings may be erected provided they have prior approval of the Architectural Control Committee and provided that the exterior of the storage building shall be of the same color and material as the exterior of the residential dwelling and garage structure. Structures erected or placed on any Lot must be in harmony with respect to workmanship, materials and external design. Construction of model homes is expressly permitted as long as they strictly conform to the restrictions in this Declaration.

3. **EXTERIOR.** Exterior surfaces above foundation must be stucco, brick, stone or wood, and will be allowed in combination with maintenance-free siding. Maintenance-free siding or hardboard will be allowed on the sides and rear of residential structures only with prior approval of the Architectural Control Committee as to architectural theme and style, type, manufacturer and specification of the proposed maintenance-free siding. Siding Color, Soffit, Fascia, Trim Color and Shingle Color must be Earthtone or Neutral in color and must be approved by the Architectural Control Committee prior to construction.

4. **BUILDING AREA.** The minimum size of any residential dwelling structure, exclusive of basements, garages, and one-story open porches, shall be:

Rambler

- a) In the case of a single floor structure, not less than 1100 square feet of finished living space on the main floor.

Split Level

- b) In the case of a split-entry structure, not less than 1100 square feet of finished living space on the upper level

Multi-Level

- c) In the case of a multi-level structure, not less than 1100 square feet of finished living space (not to include 3rd and 4th levels).

Modified

- d) In the case of a modified structure, not less than a combined total of 1600 square feet of finished living space (not to include the 4th level).

Two-Story

- e) In the case of a two-story structure, not less than a combined total of finished living space for both the ground and second floors of 1600 square feet. Square footage is inclusive of upper two levels, but does not include the basement.

5. **CERTAIN STRUCTURES NOT TO BE USED FOR RESIDENTIAL PURPOSES.**

No trailer, basement (except below the finished dwelling), tent, shack, detached garage, barn, or outbuilding shall be erected or placed on the premises at any time or used as a residence temporarily or permanently, nor shall any structure of a temporary nature be erected, placed, used or occupied for residential purposes, nor shall any building not completely finished on the exterior be occupied for residential purposes.

6. **SITE SODDING – NO SEED PERMITTED.** The front, side, and rear corner of house yards of each Lot shall be sodded or Hydro seeded (no seed permitted) within Sixty (60) days of occupancy, weather permitting, or if weather doesn't permit then not later than the first day of July following such occupancy. The Lot Owner has all responsibility for site maintenance and for controlling storm water runoff. The Lot Owner shall correct all site maintenance or drainage problems within fifteen (15) days of receiving written notice either from the City of Norwood Young America or the Developer. After said 15-day notice period, the Developer and/or the City

of Norwood Young America shall have the right, but without the obligation, to enter the property, with such personnel and materials as is necessary to correct the problem and the Lot Owner shall pay all of such costs and expenses promptly upon notice thereof.

7. **TREES.** Two (2) 1 1/2" caliper or greater deciduous over-story trees planted by the Builder in the front boulevard, per Lot. **Tree maintenance, once planted, is the sole responsibility of the Lot Owner and is without any warranty.**

8. **ARCHITECTURAL CONTROL COMMITTEE.** There is hereby created an Architectural Control Committee ("Committee"), Loomis Homes, LLC 1458 White Oak Drive, Chaska, MN 55318

A majority of the Committee may designate a representative to act for it. In the event of a death or resignation of any member of the Committee, the remaining members shall have full authority to designate a successor. Neither the members of the Committee, nor its designated representative, shall be entitled to any compensation for services performed pursuant to this covenant. At any time after (a) 100% of the Lots affected by this Declaration are owned by the Lot Owners who reside in dwellings constructed on said Lots, and (b) 100% of the lots in The Preserve 5th Addition have been sold by Developer and owned by lot owners who reside in dwellings constructed on said lots, and (c) 100% of any subsequent lots formed by subdivision of any outlots described in this Declaration have been sold by Developer and owned by lot owners who reside in dwellings constructed on said lots, a majority of the Owners of Lots (each Lot having one vote) subject to this Declaration shall have the power through a duly executed written instrument to change the membership of the Committee or to modify, expand or restrict its powers and duties.

9. **ARCHITECTURAL CONTROL.** No structure shall be erected, placed, or altered on any Lot until the construction plans, specifications and colors and a site plan showing the location of the structure have been approved by the Architectural Control Committee as to quality of workmanship and materials, harmony of external design with existing structures, and location with respect to topography and finished grade elevation. The Committee's approval or disapproval as required by these covenants shall be in writing. In the event within thirty (30) days after plans and specifications have been submitted to it, the Committee, or its designated representative, fails to approve or disapprove such plans, the applicant must notify the Committee in writing requesting approval or disapproval. If within ten (10) days after receiving said notice the Committee or its designated representative fails to approve or disapprove the plans, or, in any event, if no suit to enjoin the construction has been commenced prior to the substantial completion thereof, approval shall be deemed to have been granted.

10. **LOT USE.** No illegal, dangerous, obnoxious or offensive activity shall be carried on or permitted to occur upon any Lot, nor shall anything be done thereon which is or may become a nuisance to adjoining Lot Owners or the neighborhood.

11. **SIGNS.** No sign of any kind shall be displayed to the public view on any Lot except: one professional sign of not more than six square feet advertising property for sale or rent. Permanent entrance monuments, as well as signs and sales aids used during the initial construction and marketing period, must be approved in advance by the Architectural Control Committee.

12. **FENCES.** No fence or wall shall be erected or placed on any Lot without the prior approval of the Architectural Control Committee, nor shall any fence or wall be erected in any location or of any size or material except as allowed under the applicable ordinances of the City of Norwood Young America, if any. Fence height shall not exceed 5 feet in height. Approved fence materials include wood, maintenance free fencing, wrought iron or chain link. Chain link style fences must be black or brown coated. In no case shall fences or walls be constructed nearer to the street than the principal structure, including, corner lots.
13. **KEEPING OF ANIMALS.** No animals of any kind shall be raised, bred or kept on any Lot, except that domestic dogs, cats, or other household pets of Lot Owner are allowed, provided that they are not kept for any commercial purpose, are housed in the main dwelling or garage, are kept on leash or in a fenced yard or kennel area, are not dangerous, and do not exceed in number per Lot the maximum allowed under applicable City of Norwood Young America ordinances. In all cases, and with no exceptions, Owners shall abide by the City of Norwood Young America animal control ordinance(s).
- No kennel shall be erected on any Lot without the prior approval of the Architectural Control Committee (see paragraph 9).**
14. **OUTSIDE GARBAGE RECEPTACLES.** No outside incinerators, trash burners or garbage receptacles shall be installed or erected on any Lot and garbage receptacles and recycled materials shall be kept indoors or in the garage or other enclosed space except on days when garbage is being collected. This covenant shall not be construed to prohibit the use of outdoor barbecues or fireplaces.
15. **RECREATIONAL EQUIPMENT.** Recreational equipment is defined for the purposes of this Declaration as travel trailers, pickup campers or coaches, motorized dwellings, trailers, snowmobiles, fish houses, ATV's, boats, and other watercraft and their trailers. No recreational equipment shall be used on a Lot for living, sleeping or housekeeping purposes. No recreational equipment shall be parked on any Lot or appurtenant street for a period longer than twenty-four (24) consecutive hours in any single week. In addition, no abandoned vehicle shall be parked on any Lot, or appurtenant street. For purposes of these covenants, any automobile, van, motorcycle, or other motorized vehicle, which is parked in the same location without use for more than seventy-two (72) consecutive hours, shall be presumed to be an abandoned vehicle. Recreational equipment such as trampolines, swing sets, play houses, inflatable and above ground swimming pools (intended to be left up more than 24 hours) must be located in the rear yard only. Any sport court installations must have prior approval of the Architectural Control Committee.
16. **RADIO, SATELLITE AND TELEVISION ANTENNA, ETC.** No radio or television broadcasting or receiving antenna or satellite dish or other similar apparatus shall extend above the highest point on the roof of any dwelling or garage. Conventional TV antennas shall be mounted within the attic of the structure. Any receiving or broadcasting equipment to be located outside the structure shall be screened from view from streets and adjacent Lots. No such equipment shall be erected without prior review and approval of the Architectural Control Committee.

17. **EASEMENTS.** Easements for installation and maintenance of utilities and drainage facilities are reserved as shown on the recorded plat. Within these easements, no structure, planting or other material shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities, or which may alter or impede the direction or flow of water through drainage channels in the easements. The easement area of each Lot and all improvements in it shall be maintained continuously by the owner of the Lot, except for those improvements for which a public authority or utility company is responsible.
18. **AMENDMENT.** Prior to the final sale of all Lots by Developer, this Declaration may be amended, rescinded or restated by Developer. Upon the final sale of all Lots which are subject to this Declaration by the Developer or its assigns, the provisions of this Declaration may be revised, amended, rescinded, or restated as may be required or deemed necessary at any time by the Lot Owners. Any such change shall be in writing by owners of 75% of the Lots, based upon one vote for each Lot owned. When more than one person or entity holds an interest in a Lot, the assent for any change of these covenants shall be exercised as they between or among themselves shall determine, but in no event, shall more than one vote inure to any Lot. No such change shall be effective except upon recordation in the land records of Carver County.
19. **ENFORCEMENT OF COVENANTS.** Enforcement of these covenants shall be by proceedings at law or in equity brought by any Lot Owner, including Developer, to restrain violations or to recover damages against any person or persons violating or attempting to violate any covenants. Any action brought to enforce these covenants must be brought within six (6) months after the violation of covenants is discovered.
20. **INVALIDITY OF COVENANTS.** The invalidation of any of these covenants by judgement or court order shall in no way affect any of the other provisions, which shall remain in full force and effect.
21. **DURATION OF COVENANTS.** These covenants, restrictions and conditions shall run with the land and shall be binding on all parties and all person owning, using, improving or altering any Lot for a period of thirty years from the date this Declaration is recorded, after which time the same shall be automatically extended for successive periods of 10 years unless an instrument signed by the then Owners of a majority of the Lots has been recorded, agreeing to terminate the same.
22. This Declaration supersedes and replaces entirely, with respect to the Lots, any previous Declaration of Covenants recorded by Developer pertaining to The Preserve 5th Addition.

IN WITNESS WHEREOF, the Declarant has caused these presents to be executed this
_____ day of _____, 20 ____.

The Preserve 5th Addition LLC
A Limited Liability Company

BY: _____
ITS: President

STATE OF MINNESOTA)
) ss.
COUNTY OF CARVER)

The foregoing was acknowledged before me this _____ day of _____, 20 ____, by
Scott Loomis, the President of The Preserve 5th Addition, LLC, a Limited Liability Company, on
behalf of the Company.

Notary Public



Impacted Wooded Areas

Map 2

TOTAL AREA = 124.56
 DEVELOPER
 FRED PLOCHNER
 24 CARNES GREEN
 OAKDALE, IA 50208
 502-358-1773

BARNES

LAKE

OUTSIDE DEVELOPMENT LAND

TOP OF HIGHEST ELEVATION ON
 12/4/00 = 970.00 FEET (AS PER 1991
 DATA) = 970.00 FEET (AS PER 1991
 DATA) TO BE IN DATA

BARNES
LAKE

Townhome
Phase 3

Townhome
Phase 2

Single-family
Phase 2

Townhome
Phase 1

Single-family
Phase 1

Single-family
Phase 5

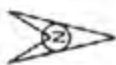
Single-family
Phase 6

Single-family
Phase 3

Single-family
Phase 4

Map 3

Proposed Phasing



TOTAL AREA = 154.54

DEVELOPER:
FRED FLOCKER
24 CARMEN GREEN
OAKDALE, ILL 60451
815-556-1773

BARNES
LAKE

(TAXABLE DEVELOPMENT LAND)

NOT TO BE USED FOR CLUSTERING OR
SPLITTING OF LOTS INTO SMALLER
PARCELS. ALL LOTS MUST BE 100' OR
GREATER IN WIDTH AND 100' OR
GREATER IN DEPTH.

BARNES
LAKE



To: Chairperson Heher
Members of the Planning Commission
Administrator Helget

From: Cynthia Smith Strack, Consulting Planner

Date: June 6, 2017

Re: Public Hearing: 600 Railroad Street West – Rear Yard Setback Variance & Conditional Use Permit
Site Plan Approval

Applicant: Steve Curfman, d.b.a. Curfman Trucking & Repair Inc.

Subject Address: 600 Railroad Street West

Legal Description: THAT P/O N1/2 SECT 15-115-26 BOUNDED AS FOLLOWS: BOUNDED ON N BY S R-O-W OF HWY 212 BOUNDED ON S BY N R-O-W OF OLD HWY 212 NOW RAILROAD ST BOUNDED ON E BY LINE DESC AS: COMM AT SE CORN BLK 14 VILLAGE OF NORWOOD TH W ON N LINE OF RAILROAD ST TO SW CORN VAC TH S 75' +OR- TO A PT ON S R-O-W LINE OF HWY 212-SAID PT BEING PT OF BEG OF LINE TO BE DESC TH CONT ON A BEARING OF S 468.68' TO N R-O-W LINE OF OLD HWY 212 (NOW RAILROAD ST) & SAID LINE THERE TERMINATING EXC: W 6 ACRES THEREOF & EXC E 6 ACRES THEREOF

Property ID: 580150700

Zoning Class: I-1 Light Industrial District

Request:

1. Conditional use permit allowing outdoor storage with a contractor operation
2. Variance to rear yard setback requirement
3. Site plan approval

Representative: Steve Curfman

Attachments:

- Application
- Site Plan
- Narrative
- Exterior Elevations
- Survey
- Site Map
- Memo from City Engineer dated May 18, 2017

BACKGROUND

Conditional use permit, variance, and site plan applications, a narrative description, and site plan sketches have submitted for review by the City of Norwood Young America in conjunction with a proposed contractor operation with ancillary outdoor storage at 600 Railroad Street West. The application materials are attached for consideration/information.

A variance to required rear yard setback in the I-1 Light Industrial District (1230.12, Subd. 5(E)) will allow placement of a new structure on an existing foundation. Rear setback required is 50 feet; setback of the existing foundation is fifteen (15) feet.

A CUP is required under Section 1230.12, Subd. 4(E) for ancillary outdoor storage. Principal use of the property for a contractor operation is a permitted use within the I-1 District.

The Applicant represents:

- Curfman Trucking & Repair, Inc. is proposed to be relocated to this site.
- Curfman Trucking & Repair is a commercial trucking company that performs its own service, repair, and maintenance on its fleet of tractors, trucks, and trailers and offers truck repair and service to the public.
- The Applicant proposes a new 120' X 80' (9,600 sf) truck maintenance facility to be located on an existing foundation. The truck maintenance facility will have four (4) bays for semi repair or eight bays for straight truck repair, a truck wash bay, office, restrooms, storage, and showroom area. The building will be pre-engineered steel.
- The site plan illustrates a future option to add a 24' X 80' addition to the west side of the building for truck repair.
- The Applicant proposes the four bays (also defined as eight bays) are to be used for repair, maintenance, and service of Curfman Trucking's own fleet and for the public business of repair/maintenance/service of other commercial trucks.
- Curfman's private truck fleet consists of seventeen (17) trucks and seven (7) trailers.
- The Applicant proposes a maximum of four (4) commercial trucks not owned by Curfman Trucking will be repaired on site on any day.
- The proposed wash bay will be used for Curfman Trucking's own fleet. The Applicant projects two (2) fleet vehicles will be washed at the site each day.
- The Applicant employs fifteen (15) truck drivers who drive to the site in personal vehicles and depart the site in a Curfman Trucking fleet vehicles. Fleet drivers work off-site throughout the day and return to the site at the close of the work day.
- The Applicant employs an additional eight (8) persons on site, including office staff.
- A water service line is present at the site of the existing foundation/proposed new structure.
- A sanitary sewer service line will be extended from an existing service near the eastern property boundary.

- The Applicant proposes three aggregate storage piles.
 - All three aggregate storage piles will be contained on three sides by a bunker wall a minimum of five (5) feet in height.
 - Full capacity of each of the three bunkers will be 3,500 yards of material. An estimated 3,500 yards of red rock, 3,500 yards of unrecycled aggregate material, and 3,500 yards of recycled aggregate material.
 - Maximum estimated height of the outdoor storage piles is twenty-five (25) feet.
 - The Applicant estimates fifteen (15) loads of aggregate materials will pass in or out of the facility each day during the construction season (six to seven months of the year) and seven (7) in or outbound trucks loads of aggregate material will pass in or out of the facility each day during the off-season (five to six months of the year).
- The existing ruck scale and truck scale building will be used privately by Curfman Trucking for the scaling of aggregate material.
- Proposed parking will accommodate parking of Curfman Trucking's fleet of tractors, trailers, and trucks. Employee parking and spaces for trucks not owned by Curfman Trucking which are being repaired are also proposed.
- An improved driveway apron is proposed.

Hearing Requirements

A public hearing notice has been drafted, published, and distributed to property owners within 350 feet of the subject parcel.

Comments Received

As of the drafting of this memo no comments were received.

EXAMINATION OF CODE REQUIREMENTS: REAR YARD SETBACK VARIANCE

The Applicant proposes a variance to the required rear yard setback of fifty (50) feet. The Applicant proposes a rear yard setback of fifteen (15) feet which corresponds to the location of an existing foundation remaining from a former structure. If approved the variance will enable use of the existing structural foundation.

Section 1210.04 of the City Code pertains to issuance of variances.

A variance from the literal provisions of the Code may be approved where strict enforcement would cause practical difficulties. Practical difficulties when used in connection with the granting of a variance means:

1. The property owner proposes to use the property in a reasonable manner not permitted by the Code.
2. The plight of the landowner is due to circumstances unique to the property and not created by the landowner.
3. The variance, if granted will not alter the essential character of the locality.

Variances to allowable uses of property are not allowed, variances to performance standards such as setbacks may be considered. Economic considerations alone do not constitute a practical difficulty.

Potential Findings Supporting Variance Issuance

- ***The proposed development is consistent with the Comprehensive Plan in terms of future land use (industrial) and policies relating to industrial development.***

- *The property has previously been developed and used for industrial purposes with berming present on the perimeter of the property. The property is zoned for industrial use the proposed industrial use with certain conditions recommended appears to be a reasonable use of the property.*
- *The variance is not for the use of the property.*
- *The property was previously designed, graded, and built with placement of a structure adjacent to the northern property boundary.*
- *An existing foundation suitable for reuse exists on the property. Utilities are suitably placed.*
- *Reuse of the existing foundation minimizes disturbance of the existing site and maximizes efficiency of redevelopment.*

Potential Findings Opposing Variance Issuance

- *The existing foundation could be demolished with a new foundation established in a manner consistent with the required setback.*
- *Presence of a foundation does not constitute a circumstance unique to the physical dimensions of the property, existing environmental conditions, or topographic limitations.*

Recommendation:

Staff recommends approval of the variance based on aforementioned findings and prioritizing redevelopment, minimization of land disturbance, and efficiency in development over strict compliance with standards. A variance from the required fifty (50) foot rear yard setback to fifteen (15) feet is recommended to be contingent on the following:

1. The variance is applicable to the property at 600 Railroad Street West.
2. Approval of a Conditional Use Permit to allow ancillary outdoor storage in conjunction with a contractor operation at 600 Railroad Street West.
3. Approval of a site plan for the proposed development at 600 Railroad Street West.
4. Initiation of construction of a proposed 80' X 120' (9,600 square foot) structure shall begin within one-year of City Council approval of the variance. If construction has not been initiated within one year of Council approval the variance, said variance approval shall expire without further action by the Council.

EXAMINATION OF CODE REQUIREMENTS: CONDITIONAL USE PERMIT ANCILLARY OUTDOOR STORAGE

The Applicant proposes ancillary outdoor storage in conjunction with a contractor operation. Outdoor storage to specifically include:

1. Parking of Curfman Trucking fleet vehicles.
2. Three aggregate storage piles containing 3,500 cubic yards of material each.
3. Parking of commercial trucks being repaired on site as an ancillary use.

Code requirements applicable to this Conditional Use Permit Request are itemized below; consulting staff comments are illustrated in ***red bold, italic type face***.

1210.06 Conditional Use Permits, Subd. 3(B)(18) Requirements

Outdoor storage must conform to the following standards:

- a. All outdoor storage yards shall be completely screened from roads or developed areas with a solid fence or wall six feet or more in height, maintained in good condition, and screened with suitable planting. **Berming, fencing (chain link), and vegetative screening adjacent to Railroad Street are present at the site and maintained in good condition. The Commission should discuss how the existing screening relates to this requirement.**
- b. No un-screened outdoor storage yards shall be established after the effective date of the Code located closer than 500 feet to existing State and Federal roads, nor closer than 100 feet to any other City streets. **The previous use (Waste Management Recycling Center) occupied the portion of the site currently surfaced with compacted aggregate material. No significant change in the portion of the site used for outdoor storage is proposed. As such a new or expanded outdoor storage yard is not proposed.**

General Criteria for Approval of Conditional Use Permits

The aforementioned standards relate specifically to outdoor storage. In addition, the Planning Commission is required to examine the request under a series of general standards as set for under Section 1210.06 Conditional Use Permits, Subd. 3(A).

1. The use is consistent with goals, policies and objectives of the Comprehensive Plan. **DISCUSSION: The 2008 NYA Comprehensive Plan guides the subject area to industrial use.**
2. The use is consistent with the intent of this Ordinance. **DISCUSSION: Contractor operations are permitted uses within the I-1 District. Outdoor storage is allowed as an accessory use under CUP.**
3. The use does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements. **DISCUSSION: The proposed use will occur on an existing lot which is currently served by a full array of urban services. The redevelopment will not overly burden existing utilities in terms of volume used/capacity required or type of waste produced.**
4. The use does not have an undue adverse impact on the public health, safety or welfare. **DISCUSSION: The outdoor storage will be confined in scope and size by proposed conditions and contained within a bermed, fenced, and partially screened area. Proposed conditional use permit standards will limit any adverse impact on the public's health, safety, or welfare.**
5. The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, nor substantially diminish and impair property values within the neighborhood. **DISCUSSION: Adjacent uses are a mix of open space ag uses and industrial uses. The use as provided for in the City Code and with conditions proposed appears to blend in with the uses within the general locale.**
6. The use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. **DISCUSSION: The subject site was previously developed for industrial use with outdoor storage. Berming, fencing, and screening were required under the previous use and exist on site.**

7. Adequate utilities, access roads, drainage and necessary facilities have been or will be provided. ***DISCUSSION: The subject parcel is an existing, improved lot with a full complement of urban services provided.***
8. Adequate measures have been or will be taken to provide for vehicular and pedestrian safety and convenience to, from and within the site. ***DISCUSSION: access to the site is from Railroad Street West. A proposed driveway apron will minimize tracking of material off-site. Truck traffic is anticipated to be routed from the site to the west for access to Highway 212. Alternately, trucks exiting the site will be required to use designated truck routes.***
9. The use meets all of the performance criteria requirements as established in Section 1245.01 of this chapter. ***DISCUSSION: As a condition of approval, the proposed use shall meet the requirements of Section 1245.01 of the City Code relating to noise, vibration, smoke, particulate matter, odor, and connection to municipal utilities.***
10. The use shall, in all other respects, conform to the applicable regulations of the district in which it is located. ***DISCUSSION: A variance to required rear yard setback is as a companion to this CUP request and a request for site plan approval. The variance, if approved, will allow for use of an existing foundation. All other performance standards are met.***

Recommendation

If the PC contemplates recommending approval of the CUP to the City Council, staff recommends the following conditions be considered:

1. The conditional use permit is applicable only to the property at 600 Railroad Street West.
2. The approval specifically authorizes ancillary outdoor storage at the subject site. Said outdoor storage is directly and specifically limited to that represented in the site plan dated May 5, 2017.
 - a. A maximum of forty-three (43) vehicles may be stored on site at one time. Vehicles are limited to Curfman Trucking commercial fleet vehicles or commercial vehicles with a minimum of three axels. Fleet vehicles must be related to the contractor operation and under licensed ownership of the contractor operation.
 - b. Vehicles as defined above stored on site:
 - i. Must be in an operable condition;
 - ii. Must not be extensively damaged, with damage including such things as broken or missing tires and wheels, missing or non-operable motors, missing body parts, missing or broken windows, non-functioning drive train or transmission; and,
 - iii. Shall have a fair market value greater than the approximate value of the scrap in it.
 - c. A maximum of three (3) stockpiles of aggregate material are allowed on site provided:
 - i. The aggregate materials are contained on three (3) sides by solid, continuous bunker walls with a minimum height of five feet constructed and maintained in a manner that aggregate materials are dependably contained within the walls at all times.
 - ii. No single storage shall contain more than 3,500 cubic yards of material.
 - iii. No storage pile shall exceed twenty-five (25) feet in height at any time.
 - iv. Aggregate materials allowed to be stored on site are limited to red rock, unrecycled aggregate material, and recycled aggregate material.
 - d. Outdoor storage of the following items is prohibited on site:
 - i. Garbage and refuse material.
 - ii. Miscellaneous equipment and/or parts, tires, and fluids.

- iii. Brush and tree parts.
 - iv. Horse, stock, or travel trailers, campers, unlicensed passenger vehicles, passenger automobiles not licensed as fleet vehicles, personal property, buses, agricultural equipment, portions of heavy construction equipment, and heavy construction equipment exceeding its normal lifecycle.
 - v. Pallets, concrete block, rocks, stones, boulders, and brick.
 - vi. Items reasonably similar to those identified as prohibited.
3. Construction of the proposed 9,600 square foot principal structure is substantially completed prior to establishment of ancillary outdoor storage.
 4. A certificate of occupancy is issued for the proposed 9,600 square foot principal structure by December 31, 2018.
 5. This approval shall expire one year after date of approval unless the Applicant has commenced construction of the principal structure.
 6. This permit is subject to all applicable codes, regulations and ordinances, and violation thereof shall be grounds for revocation.
 7. The permit shall be subject to annual inspection and audit by the City.
 8. The City may revoke the CUP upon violation of the conditional use permit standards in the Zoning Ordinance or violation of the conditions of an approving Resolution, subject to the requirements of Section 1210.06, Subd. 5 "Revocation of Conditional Use Permits" of the Zoning Ordinance, as may be amended.
 9. The conditional use permitted under this Resolution shall be revoked if the Use ceases for more than 12 consecutive months.

EXAMINATION OF CODE REQUIREMENTS: SITE PLAN APPROVAL

District and Use:

The property is zoned I-1 Light Industrial District. The principal use (contractor operation) is permitted within the subject district. Ancillary outdoor storage is subject to issuance of a conditional use permit (concurrent processing).

The Applicant also proposes repair of commercial trucks not owned by Curfman Trucking on site. At this time, repair of vehicles, including heavy and super heavy trucks which are not owned by Curfman Trucking, is not allowed in the I-1 District and is therefore prohibited. The City has indicated an interest in allowing auto and truck repair in the I-1 District if an ordinance amendment is pursued.

Site Plan Review:

Lot performance, building setback, building height, and lighting standards appear to have been met.

Conditions

Parking:

The plans illustrate twenty-seven employee parking spaces to the west of the proposed building. The plans include a potential addition to the building which eliminate nine (9) of the proposed employee parking spaces.

Parking space calculation standards for contractor operations are not specifically detailed in the Code. Staff has used standards applicable to "Storage, Wholesale, and Warehouse Establishments" for parking demand purposes. The applicable standard is one (1) space for every 2,000 square feet of building space or one space

for every employee on the shift utilizing the most employees, whichever is greater. In this instance, the number of employees is the most restrictive standard and thus applicable. The Applicant represents twenty-two (22) employees on staff.

At this time adequate parking is provided. If a building addition is proposed in the future, employee parking must be re-evaluated.

Landscaping: meets standards

Section 1255.05 of the Code establishes landscape requirements for expansions of non-residential uses. The Code requires a minimum of one (1), or one (1) tree per 1000 square feet of gross building area. The standard requires ten (10) trees on the site. At this time more than ten trees exist on the site.

Signage: Individual Permit Required.

Any signage, if contemplated, requires a separate permit and is subject to Section 1260 (Signs) of the City Code.

Building Permit Required.

Building permits shall be required prior to any building construction or improvements on the property.

Additional Department/Agency Comments

Public Works: The plans have been forwarded to Public Services Director Tony Voigt for review and comment. Any/all comments from the Director are hereby incorporated by reference.

Fire Department: The plans have been forwarded to the Fire Chief Steve Zumberge for review and comment. Chief Zumberge advises the intended occupancy classification and size will require fire suppression installation. Comments from Fire Chief Zumberge in a letter dated [REDACTED] are hereby incorporated by reference.

City Engineer: The City Engineer has reviewed the application and plans. Comments and recommendations contained in a memo from John Swanson dated May 18, 2017 are hereby incorporated by reference.

RECOMMENDATION

After review and discussion, the Planning Commission may consider a MOTION to recommend approval or denial of the site plan to the City Council.

If the Planning Commission recommends denial of the site plan appropriate findings of fact shall be issued.

If the Planning Commission recommends approval of the site plan the following conditions are recommended:

1. The "Use" is a contractor operation with ancillary outdoor storage at 600 Railroad Street West, the "Property".
2. Retail and wholesale repair and service of commercial trucks and automobiles is not allowed, unless additional steps are taken to amend the I-1 Light Industrial District allowable uses.
3. The "Site Plan" is a site plan completed by RAM Building dated May 5, 2017 attached hereto.
4. Approval of a variance for rear yard setback.
5. Approval of a conditional use permit applicable to ancillary outdoor storage and compliance with conditions as specified within the CUP.
6. Compliance with recommendations as set forth within the memo from Consulting Planner, Cynthia Smith Strack, dated June 4, 2017.

7. Compliance with all recommendations as set forth within the memo from John Swanson, Bolton-Menk (City Engineer) dated May 18, 2017.
8. Evidence of review and issuance of a permit, if required by the Carver County Water Management Organization.
9. All signage shall require submittal of a sign permit application and approval by the Zoning Administrator and/or Building Official.
10. Building permits shall be required prior to any building construction or improvements on the property.
11. This approval is subject to all applicable codes, regulations and ordinances, and violation thereof shall be grounds for revocation.
12. This approval shall expire one year after date of approval unless the Applicants have commenced construction of the Use on the Property.
13. Approval of this site plan does not approve any future expansion or associated improvements on-site, including but not limited to a 24' by 80' future addition to the proposed structure.
14. Any modifications not defined as "minor" pursuant to Section 1210.08, Subd. 4, shall require separate site plan approval.

ACTION

The PC shall hold one public hearing regarding the proposed development.

During the business portion of the meeting the PC shall consider variance, CUP, and site plan approval requests. A separate and independent MOTION to recommend the Council to approve/deny each item is in order.



Real People. Real Solutions.

2638 Shadow Lane
Suite 20C
Chaska, MN 55318-1172

Ph: (952) 448-8838
Fax: (952) 448-8805
Bolton-Menk.com

5/18/17

City of Norwood Young America
Attn: Steve Helget
310 W. Elm St.
P.O. Box 59
Norwood Young America, MN 55368

RE: Curfman Trucking
600 Railroad Street West
Site Plan Review
Project No.: C14113670

Dear Mr. Helget:

Pursuant to your request, we have completed an engineering review for the proposed building construction and site work for the above referenced project. Our review is based on Site Plan information submitted by RAM General Contracting, Inc., dated May 5, 2017. We offer the following comments and recommendations for your consideration:

General:

- 1) It is our understanding that the proposed project consists of the construction of a trucking company office and repair facility, including exterior parking for staff and trucks, aggregate stockpile storage, and a truck wash bay. The proposed improvements are located on the former Waste Management site.
- 2) The proposed building appears to be utilizing the former building area, and the existing gravel parking lot area is being maintained. Existing site drainage appears to be generally unchanged.
- 3) Construction activity and /or storage of construction equipment, materials, stock piles, concrete washouts, contractor vehicle parking, etc, shall not be allowed within public R/W without approval by the City.
- 4) The extent of site disturbance resulting from building construction, site grading, and gravel lot shaping, etc. appears as if it will exceed 1 acre. A MPCA NPDES General Storm Water permit will be required. In addition, CCWMO permits and approvals may be required.

Sewer and Water Service:

- 1) The proposed building includes bathrooms and a truck wash bay. Sewer and water service connections are required. The proposed plan indicates using the existing sewer and water services in place from the former site use. This is acceptable from an engineering perspective.
- 2) The water service and sanitary sewer service shall be constructed in accordance with current City Standards.
- 3) Inspections and testing of the services shall be scheduled with the City Building Official, Public Services Department, etc.
- 4) New service is not being provided, thus we assume MPCA and MDH extension permits are likely not required.

Drainage / Erosion Control:

- 1) The proposed improvements include approximately 13,243 SF (0.3 acres) of new impervious area, within the existing lot. This results in an estimated increased runoff from the site of approximately 0.8 cfs, for a 10 year storm event. Considering the minimal amount of additional impervious surface, and resulting increased runoff, it is anticipated that the additional runoff from the proposed improvements is insignificant with regard to the existing storm sewer system.
- 2) Erosion control BMPs should be installed and maintained on the site in accordance with current City and governing agency requirements, including but not limited to perimeter silt fence, inlet protection at downstream culverts and catch basins, prevention of soil tracking off site, and associated street cleaning and sweeping, as directed by the City.

ERU Determination:

It is our understanding, that it appears ERUs and truck charges may not have been applied to the previous site use. If that is the case, and should the City determine it is appropriate to assign ERUs and resulting fees to the site at this time, we offer the following:

- 1) It is our understanding the proposed improvements include the construction of a 9600 sf truck repair shop with an office, 2 bathrooms, and a wash bay.
- 2) We understand the proposed uses include an average of 8 employees on site daily, 15 truck drivers daily, and washing of 2 trucks per day.
- 3) Based on our understanding of the proposed improvements and uses, and the 2017 Metropolitan Council SAC Procedure Manual, it appears a total of 4 ERUs is appropriate for the proposed improvements.

City of Norwood Young America
Curfman Trucking
5/18/17

The proposed improvements appear to be acceptable from an engineering perspective subject to the comments addressed herein.

We are available to discuss this matter at your convenience.

Sincerely,

Bolton & Menk, Inc.

A handwritten signature in black ink, appearing to read 'John K. Swanson', with a long horizontal flourish extending to the right.

John K. Swanson, P.E.
Senior Project Engineer

Cc: Cynthia Smith-Strack
Kreg Schmidt
Jake Saulsbury

Planning and Zoning Application

City of Norwood Young America
310 Elm St. W, PO Box 59
Norwood Young America, MN 55368
Phone: (952) 467-1800 Fax: (952) 467-1818

Applicant's Name <u>STEVE W. CURFMAN</u>		Telephone Home <u>952-292-5807</u> Work/Cell				
Address (Street, City, State, ZIP) <u>28059 742ND AVE DALLAS MN 55325</u>						
Property Owner's Name (If different from above) <u>WASTE MANAGEMENT OF MINN</u>		Telephone Home Work/Cell				
Location of Project <u>600 W RAILROAD ST NYA MN 55368</u>						
Legal Description						
Description of Request (Attach separate sheet, if necessary)						
<p style="text-align: center;">Proposed Action(s): Check all that apply</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 33%; vertical-align: top;"> <input type="checkbox"/> Annexation \$300.00 <input type="checkbox"/> Application for Appeal \$150.00 <input type="checkbox"/> City Code Amendment \$250.00 <input type="checkbox"/> Parking Reduction \$100.00 <input type="checkbox"/> CUP/IUP \$200.00 (Residential) <input checked="" type="checkbox"/> CUP/IUP \$300.00 (Non Residential) <input type="checkbox"/> Variance \$200.00 (Residential) <input checked="" type="checkbox"/> Variance \$300.00 (Non Residential) <input type="checkbox"/> Lot Split \$200.00 <input checked="" type="checkbox"/> Public Hearing Notice \$75.00 </td> <td style="width: 33%; vertical-align: top;"> <input type="checkbox"/> Comp Plan Amendment \$500.00 + Escrow <input type="checkbox"/> Sketch Plat \$200.00 + Escrow <input checked="" type="checkbox"/> Site Plan \$300.00 + Escrow <input type="checkbox"/> PUD Sketch Plan \$200.00 + Escrow <input type="checkbox"/> PUD Plan Amendment \$300.00 + Escrow <input type="checkbox"/> PUD Final Plan \$300.00 + Escrow <input type="checkbox"/> PUD Gen. Concept Plan \$400.00 + Escrow <input type="checkbox"/> Prelim Plat \$350.00 + \$10.00/Lot + Escrow <input type="checkbox"/> Final Plat \$250.00 + \$10.00/Lot + Escrow <input type="checkbox"/> Wetland Mitigation Plan \$100.00 + Escrow </td> <td style="width: 33%; vertical-align: top;"> <input type="checkbox"/> Storm Water Plan \$250.00 <input type="checkbox"/> Rezoning \$350.00 <input type="checkbox"/> Street/Alley Vacation \$150.00 <input type="checkbox"/> Zoning Text Amendment \$300.00 <input checked="" type="checkbox"/> Recording Fee \$46.00 <input type="checkbox"/> Boundary Line Adjustment \$100.00 <input type="checkbox"/> Other </td> </tr> </table>				<input type="checkbox"/> Annexation \$300.00 <input type="checkbox"/> Application for Appeal \$150.00 <input type="checkbox"/> City Code Amendment \$250.00 <input type="checkbox"/> Parking Reduction \$100.00 <input type="checkbox"/> CUP/IUP \$200.00 (Residential) <input checked="" type="checkbox"/> CUP/IUP \$300.00 (Non Residential) <input type="checkbox"/> Variance \$200.00 (Residential) <input checked="" type="checkbox"/> Variance \$300.00 (Non Residential) <input type="checkbox"/> Lot Split \$200.00 <input checked="" type="checkbox"/> Public Hearing Notice \$75.00	<input type="checkbox"/> Comp Plan Amendment \$500.00 + Escrow <input type="checkbox"/> Sketch Plat \$200.00 + Escrow <input checked="" type="checkbox"/> Site Plan \$300.00 + Escrow <input type="checkbox"/> PUD Sketch Plan \$200.00 + Escrow <input type="checkbox"/> PUD Plan Amendment \$300.00 + Escrow <input type="checkbox"/> PUD Final Plan \$300.00 + Escrow <input type="checkbox"/> PUD Gen. Concept Plan \$400.00 + Escrow <input type="checkbox"/> Prelim Plat \$350.00 + \$10.00/Lot + Escrow <input type="checkbox"/> Final Plat \$250.00 + \$10.00/Lot + Escrow <input type="checkbox"/> Wetland Mitigation Plan \$100.00 + Escrow	<input type="checkbox"/> Storm Water Plan \$250.00 <input type="checkbox"/> Rezoning \$350.00 <input type="checkbox"/> Street/Alley Vacation \$150.00 <input type="checkbox"/> Zoning Text Amendment \$300.00 <input checked="" type="checkbox"/> Recording Fee \$46.00 <input type="checkbox"/> Boundary Line Adjustment \$100.00 <input type="checkbox"/> Other
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<p>ALL ESCROW MUST BE PAID BY CERTIFIED CHECK</p> <p>Escrow Deposit <u>\$2,000.00</u> <u>6888-22100</u></p> <p>Escrow Deposit - Site Plan Review: \$15,000 (Tacoma West Industrial Park), \$5,000.00 (All other site plan reviews)</p> <p>Escrow Deposit - Development Review (paid at Sketch Plan): \$10,000.00</p>						
<p>ALL PLANNING & ZONING APPLICATION FEES ARE IN ADDITION TO LEGAL, ENGINEERING AND ASSOCIATED COSTS.</p> <p style="text-align: center;">*APPLICATIONS WILL BE PROCESSED ONLY IF ALL REQUIRED ITEMS ARE SUBMITTED*</p>						
<p>The undersigned certifies that they are familiar with application fees and other associated costs, and also with the procedural requirements of Chapter 11 and Chapter 12 of the City Code and other applicable ordinances.</p>						
Applicant's Signature:		Date				
Fee Owner's Signature:		Date				
For Office Use Only						
Accepted By:		Amount	Date			

May 5, 2017

To: City of Norwood Young America Planning & Zoning Board

From: Steve Curfman
Curfman Trucking & Repair, Inc.

Re: Narrative of Site use at 600 Railroad St.

Property Use

The Principle use of the property will be the relocation of Curfman Trucking & Repair, Inc. to the site. Curfman Trucking & Repair is a commercial trucking company that does its own service, repair and maintenance on its fleet of tractors, trucks, and trailers and offers truck repair and service to the public.

New Building

The new building will be built on part the foundation that exists on the site from the previous Waste Management building. The new truck maintenance facility will be 120' x 80'. This building will have 4 bays for semi repair, (or eight - ½ bays for straight truck repair), a truck wash bay, office, restrooms, storage and showroom area.

Owner has included a future option to add a 24' x 80' addition to the west side of the building for truck repair.

The bays will be used for repair/maintenance/service of Curfman Trucking's own fleet and for the public business of repair/maintenance/service of other commercial trucks. Curfman's private truck fleet consists of 17 trucks and 7 trailers. For the public repair of trucks, we are projecting 4 truck repair jobs a day.

The wash bay will be used for Curfman Trucking's own fleet. We are projecting washing 2 trucks per day.

Curfman Trucking employs 15 truck drivers (that will be offsite during the work day) and 7 to 8 onsite employees (which includes office staff). A water line connection already exists at the site of the new building. A sewer line will have to be hooked up and run from the existing sewer line located behind the scale house.

Outdoor Aggregate Storage Piles

The storage piles denoted on the site plan will be contained on three sides by a 5ft tall, 2" x 8" tongue and groove bunker wall. (see attached photos of an example of the type of proposed containment.) There will be an estimated 3500 yds. of red rock, 3500 yds. of unrecycled aggregate material, and 3500 yds. of recycled aggregate material when at full capacity. The maximum estimated height of the outdoor storage piles is 25ft.

There will be approximately 15 in/out bound loads a week during the construction season (6-7 months of the year) and approximately 7 in-bound loads a week during the off season (5-6 months of the year) relating to the outdoor aggregate storage piles.

The existing Truck Scale and existing Scale Building will be used privately by Curfman Trucking for the scaling out of the aggregate materials as they are brought in and out of the facility.

Onsite Parking

The parking onsite will allow for parking of Curfman Trucking's fleet of tractors, trailers and trucks, employee parking and spaces for trucks being repaired through their public repair service. An estimated 10 spaces for tractor & Trailer parking, 33 parking spaces for straight truck parking and 27 employee parking spaces have been designed for the site.

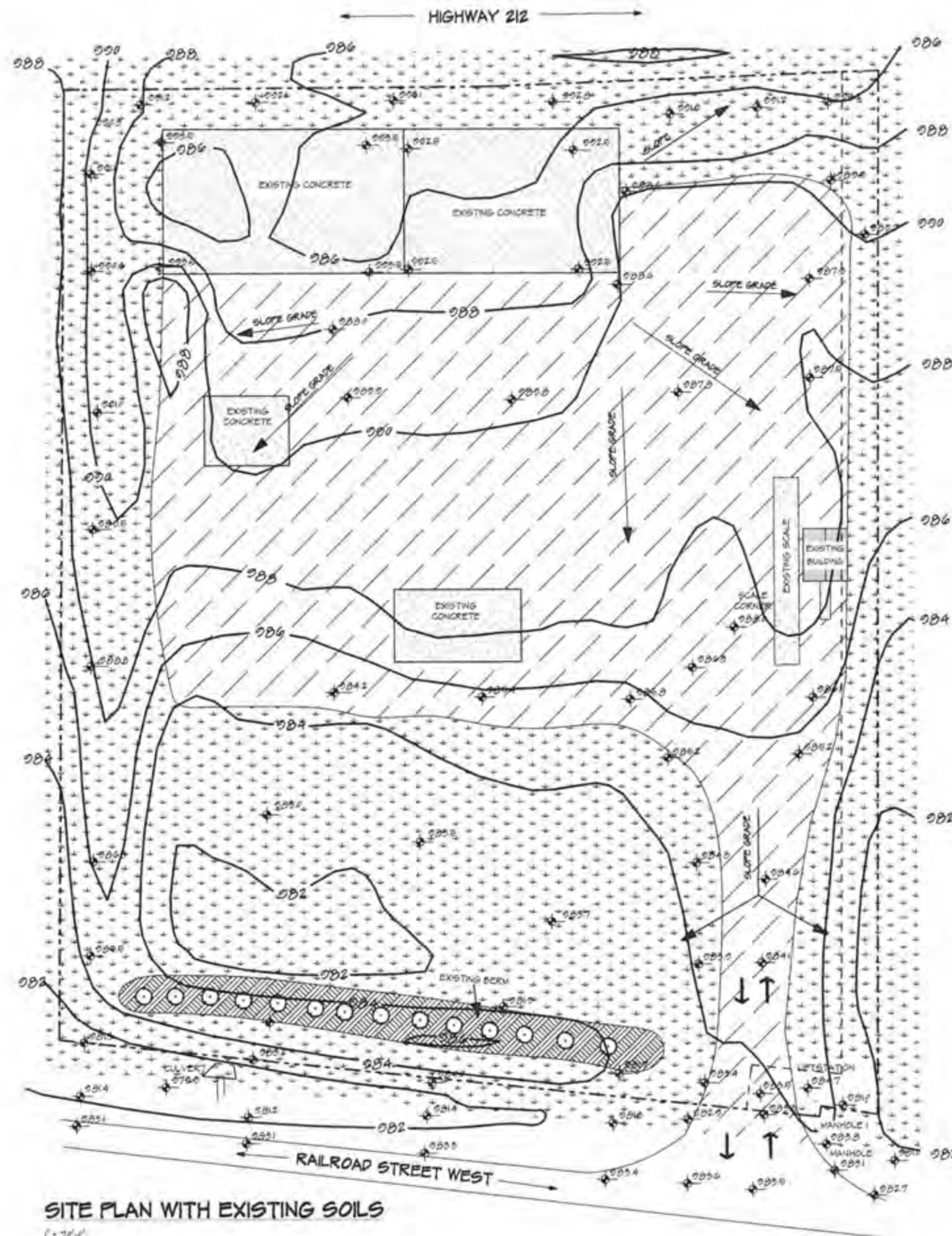
An improvement in the driveway apron is proposed by paving starting 20ft inside the existing gate to Railroad Street West.

Sincerely,

A handwritten signature in dark ink, appearing to read "Steve Curfman", with a long horizontal flourish extending to the right.

Steve Curfman
Curfman Trucking & Repair, Inc.



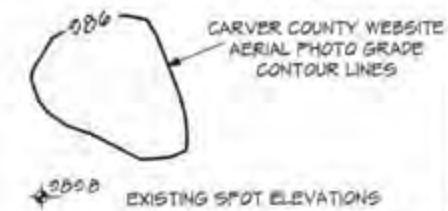


SITE PLAN WITH EXISTING SOILS

(1 of 4)



LINE & ELEVATION LEGEND



IMPERVIOUS SOIL AREAS

EXISTING BUILDING	724 SF
CONCRETE	26,335 SF
GRAVEL AREAS	105,702 SF
TOTAL AREA	132,761 SF

PERVIOUS SOIL AREAS

GRASS AREAS	12,121 SF
BERM AREA	7,973 SF
TOTAL AREA	20,094 SF

OVERALL SOIL AREA TOTALS

IMPERVIOUS SOIL AREAS	132,761 SF
PERVIOUS SOIL AREAS	20,094 SF
TOTAL LOT AREA	251,000 SF

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DRAWN BY: R.S.
DATE: 5/5/2017
SHEET 1 OF 3

PROJECT NAME: CURFMAN TRUCKING
PROJECT NUMBER: NORWOOD YOUNG AMERICA, MN
BUILDING DESCRIPTION: 80' X 94' X 22'
DESIGN NUMBER: P17035

592 Industrial Drive
P.O. Box 660
Winnetka, Minnesota 55395
320.485.2844 800.710.4776
Fax 320.485.3025
www.rambuildings.com
Contractor License Number 20171976





NORWOOD YOUNG AMERICA SITE CONTOURS

NO SCALE

ALL SITE INFORMATION TAKEN FROM CARVER COUNTY PROPERTY INFORMATION WEBSITE AT:
"HTTPS://GIS.CO.CARVER.MN.US/PUBLICPARCEL/" AND IS PROVIDED FOR REFERENCE PURPOSES ONLY.

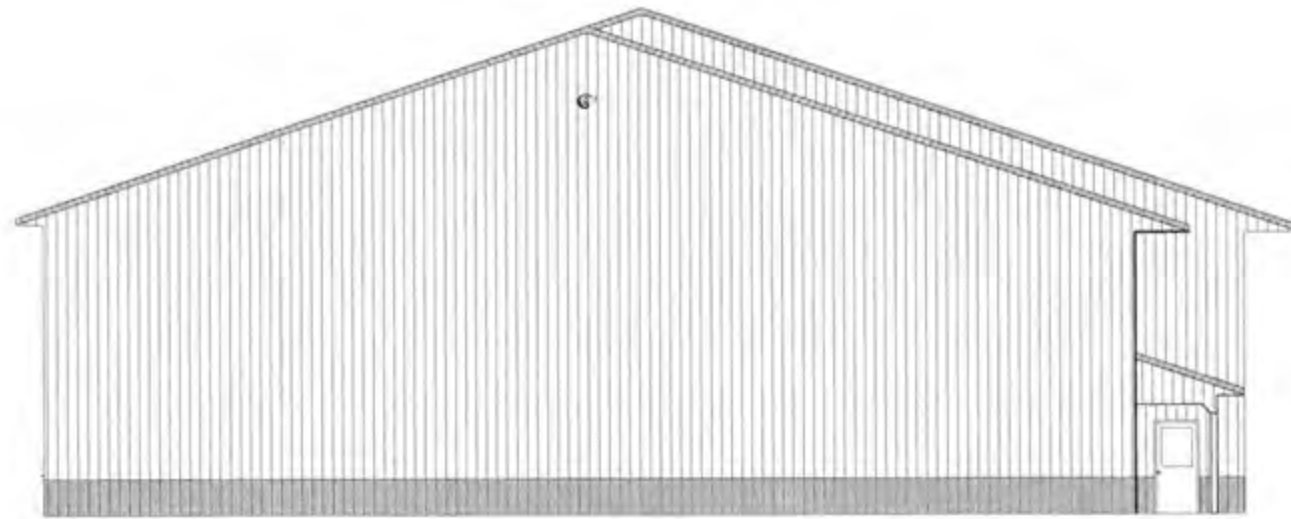
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Fax 320-485-3625
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Contractor License Number 20171976

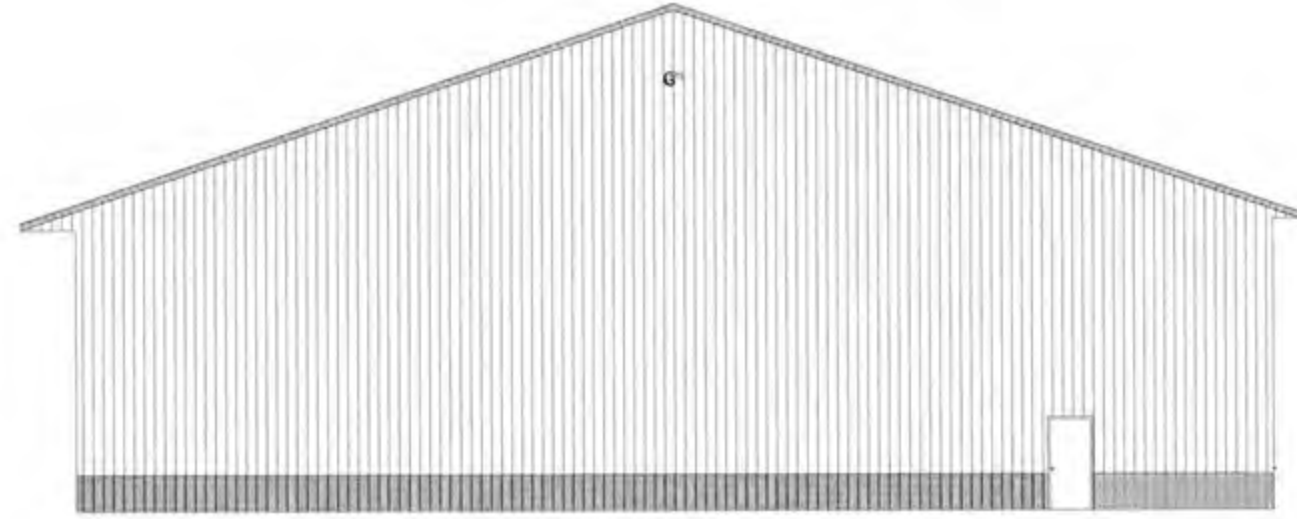


PROJECT NAME: CURFMAN TRUCKING
PROJECT NUMBER: NORWOOD YOUNG AMERICA, MN
BUILDING DESCRIPTION: 80' X 94' X 22'
DESIGN NUMBER: P17035 88' X 26' X 22'

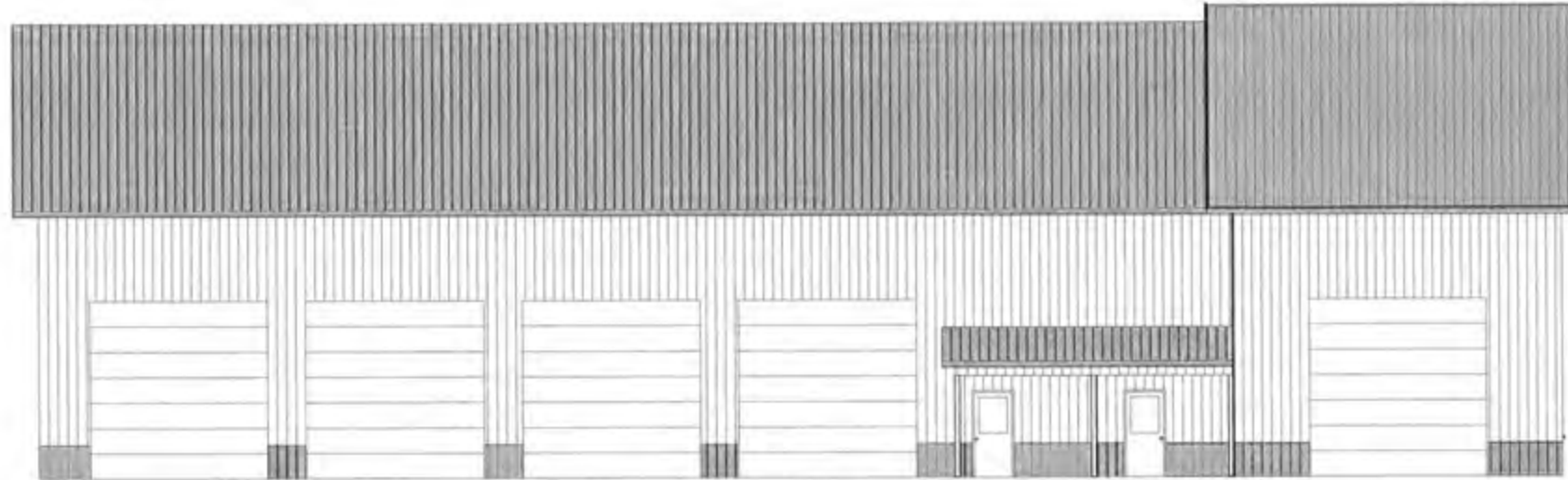
DRAWN BY: R.S.
DATE: 5/5/2017
SHEET 3 OF 3



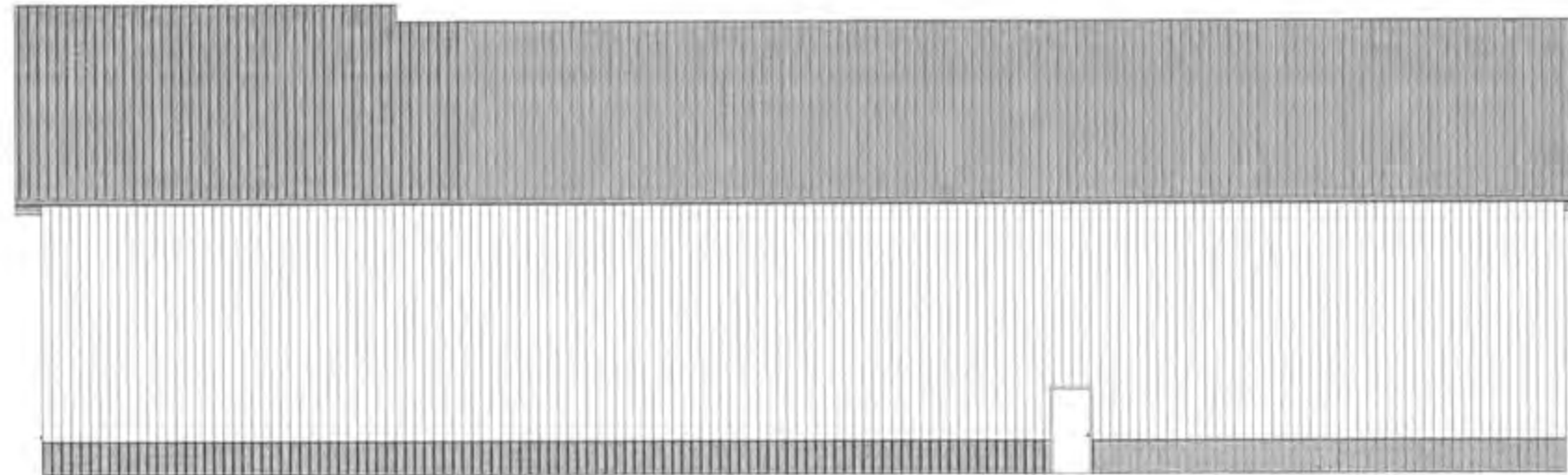
ENDWALL 1



ENDWALL 2



SIDEWALL 1



SIDEWALL 2

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DRAWN BY: JEREMY B.

DATE: 5/5/2017

SHEET: 1 OF 6

CURFMAN TRUCKING

PROJECT NAME:
PROJECT NUMBER: (17-057)

BUILDING DESCRIPTION:
80'-0" X 94'-0" X 22'-0" &
88'-0" X 26'-0" X 22'-0"

DESIGN NUMBER: P17039

592 Industrial Drive
P.O. Box 660
Winnetka, Minnesota 55395

320-485-2844 800-710-4726
Fax 320-485-3625
www.rambuildings.com

Contractor License Number BC171976



ROOF CONSTRUCTION:

29 GAUGE COLORED STEEL ROOF
PANELS AND TRIM

50# (GROUND/SNOW LOAD) - 5# - 5#

2 PLY ROOF TRUSSES

6' - 0" ON CENTER

WITH BRACING AS PER
ROOF TRUSS MANUFACTURER

EAVE CONSTRUCTION:

2X6 EAVE BOARD

METAL EAVE TRIM

24" SIDEWALL OVERHANG

NAIL TO POST WITH (8) 4" RINGSHANK NAILS

WALL CONSTRUCTION:

29 GAUGE COLORED STEEL WALL PANELS
AND TRIM

2X4 WALL GIRTS AT 24" O.C.

4 PLY 2 X 8 WALL COLUMNS

AT 6' - 0" O.C.

COMMERCIAL
BUILDING WRAP

32" WAINSCOTE

BASE TRIM

2X8 .60 TREATED
GRADE BOARD

COMPACTED BACKFILL

TREATED 2X6 X 12" BLOCKING
(ON TWO SIDES)

30" DIAMETER X 12" THICK
POURED CONCRETE FOOTING AT
SIDEWALL COLUMNS / CORNERS

SIDEWALL 2 SECTION (80' WIDE)

2X4 MSR 1650 ROOF PURLINE

AT 24" O.C.

2X4
BLOCKING

3.4

12

BOTTOM CHORD
BRACING @ 8' - 0" O.C.

2X4

OSB INSULATION
STOP

2X4 SOFFIT
STARTER

WALL LINER STEEL
W/ 4 MIL POLY

2X4 WALL NAILERS
@ 48" O.C.

22' - 4"
GRADE TO NOTCH

4' - 0"
TOP OF FOOTING TO
TOP OF GRADE

OPTION TO
RE-USE EXISTING
FOUNDATION
AND USE STURDI-WALL
BRACKETS

RAKE CONSTRUCTION:

RAKE TRIM

24" ENDWALL OVERHANG

GABLE ROOF TRUSS

WALL CONSTRUCTION:

29 GAUGE COLORED STEEL WALL PANELS
AND TRIM

2X4 WALL GIRTS AT 24" O.C.

3 PLY 2 X 8 WALL COLUMNS

(SPACED PER FLOOR PLAN)

COMMERCIAL
BUILDING WRAP

32" WAINSCOTE

BASE TRIM

2X8 .60 TREATED
GRADE BOARD

COMPACTED BACKFILL

TREATED 2X6 X 12" BLOCKING
(ON TWO SIDES)

18" DIAMETER X 6" THICK
POURED CONCRETE FOOTING AT
ENDWALL COLUMNS

ENDWALL SECTION (80' WIDE)

2X4 MSR 1650 ROOF PURLINS

AT 24" O.C.

2X6 JACK BRACE

R-40
INSULATION

2X4

22' - 4"
GRADE TO NOTCH

4' - 0"
TOP OF FOOTING TO
TOP OF GRADE

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DRAWN BY: JEREMY B.
DATE: 5/5/2017
SHEET: 3 OF 6

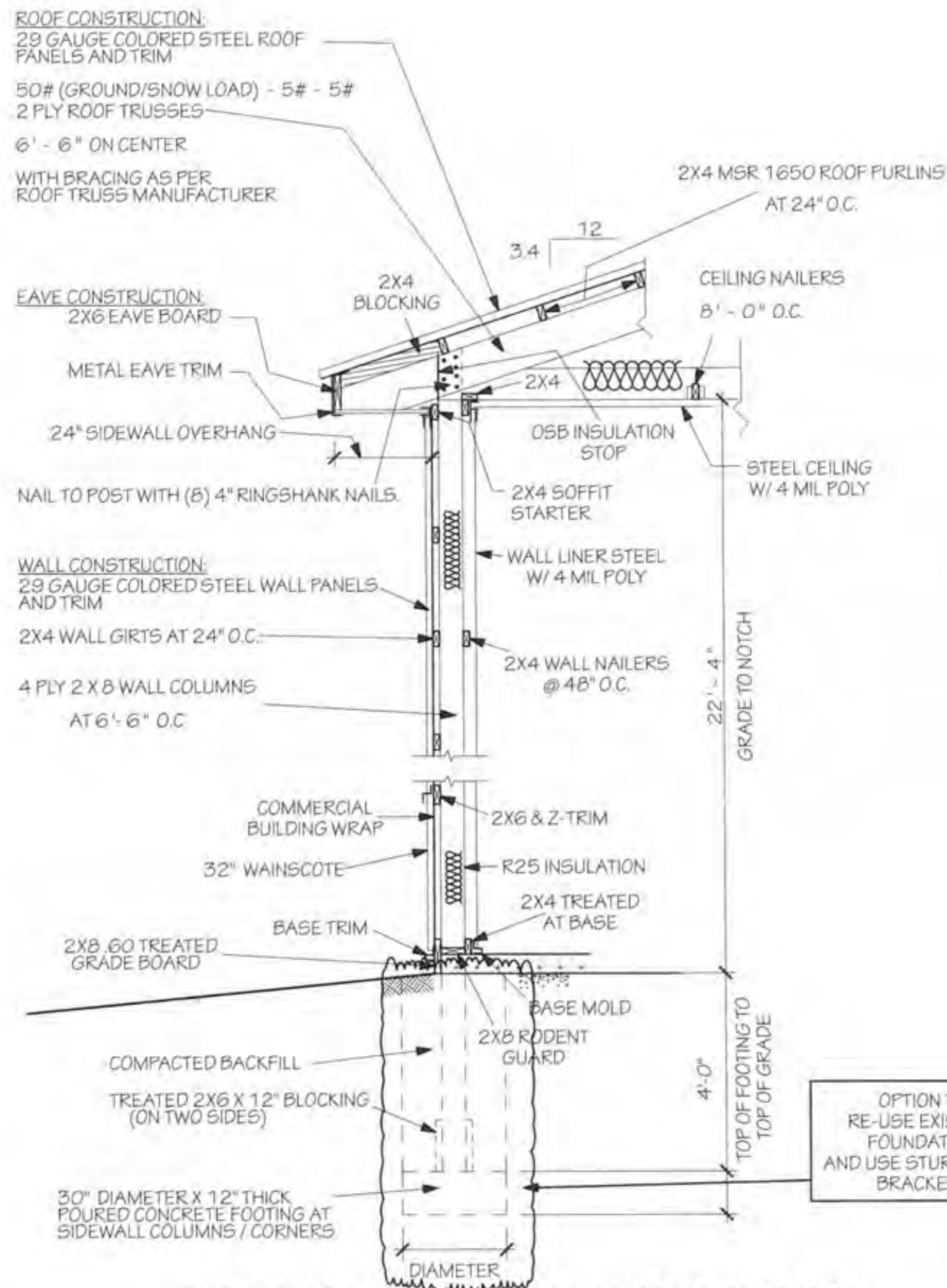
CURFMAN TRUCKING

PROJECT NAME:
PROJECT NUMBER: (17-057)

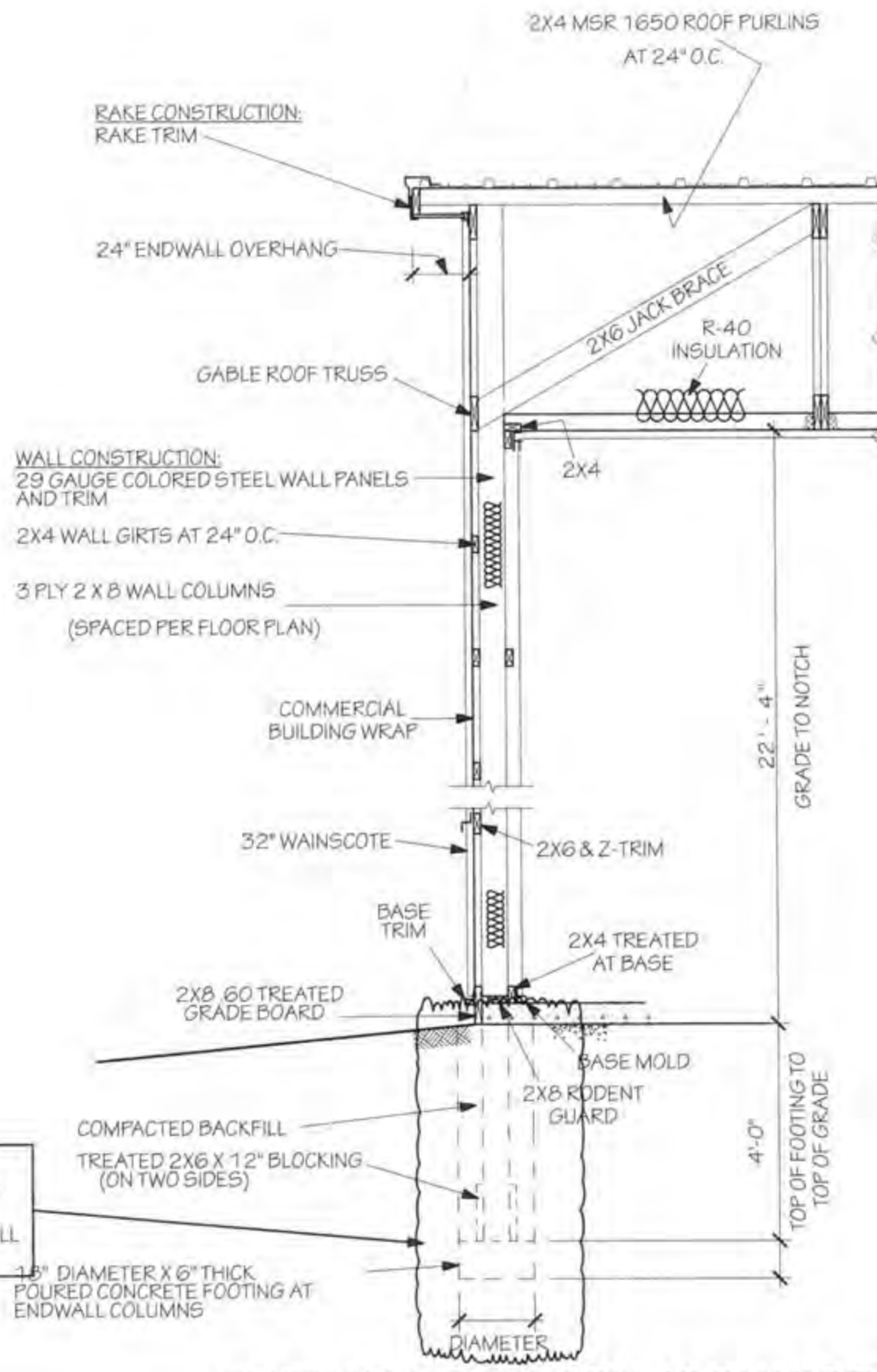
BUILDING DESCRIPTION:
DESIGN NUMBER: P17039

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SIDEWALL 2 SECTION (88' WIDE)



ENDWALL SECTION (88' WIDE)

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DATE: 5/5/2017
SHEET: 4 OF 6

CURFMAN TRUCKING

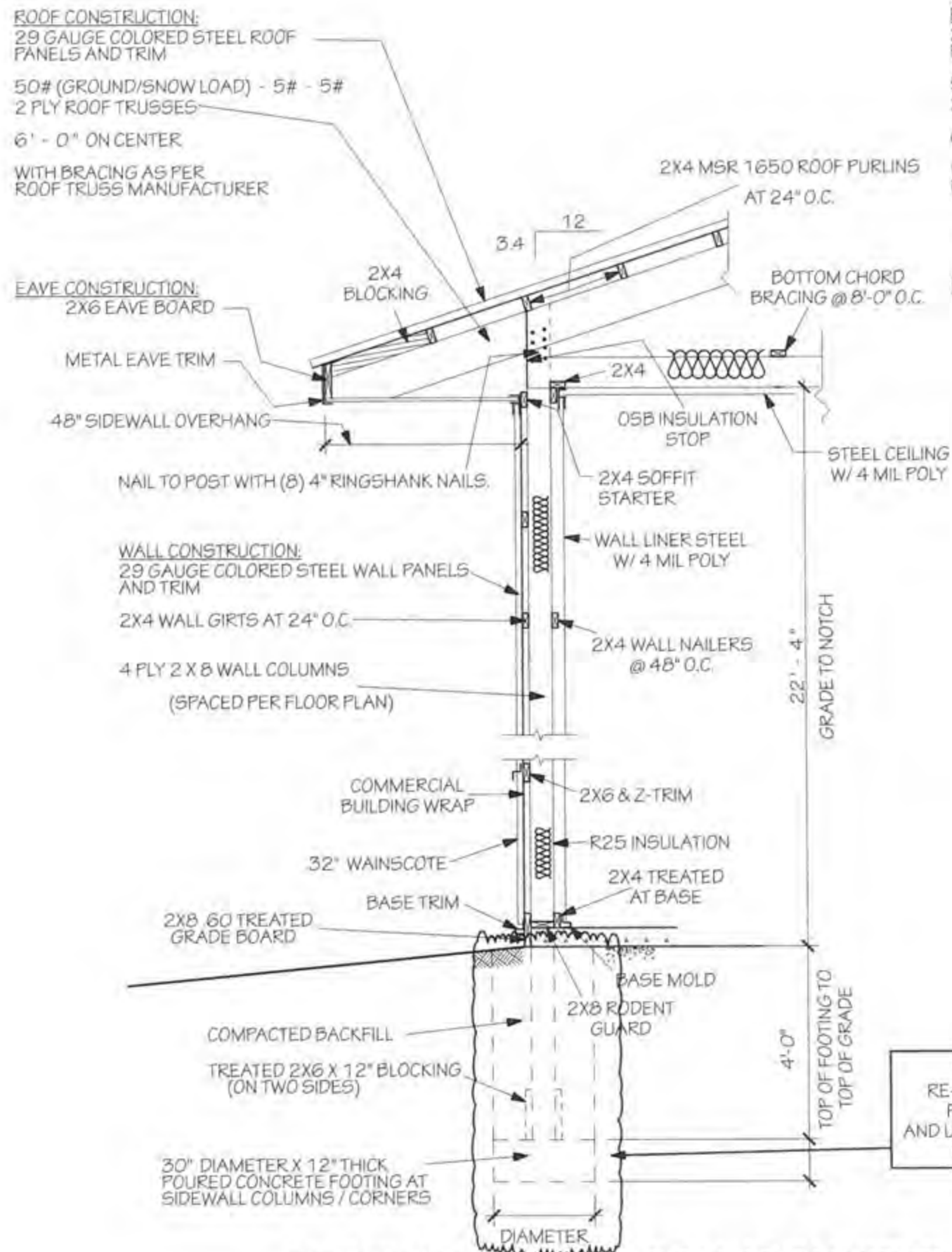
PROJECT NAME:
PROJECT NUMBER: (17-057)

BUILDING DESCRIPTION:
80'-0" X 94'-0" X 22'-0" &
88'-0" X 26'-0" X 22'-0"

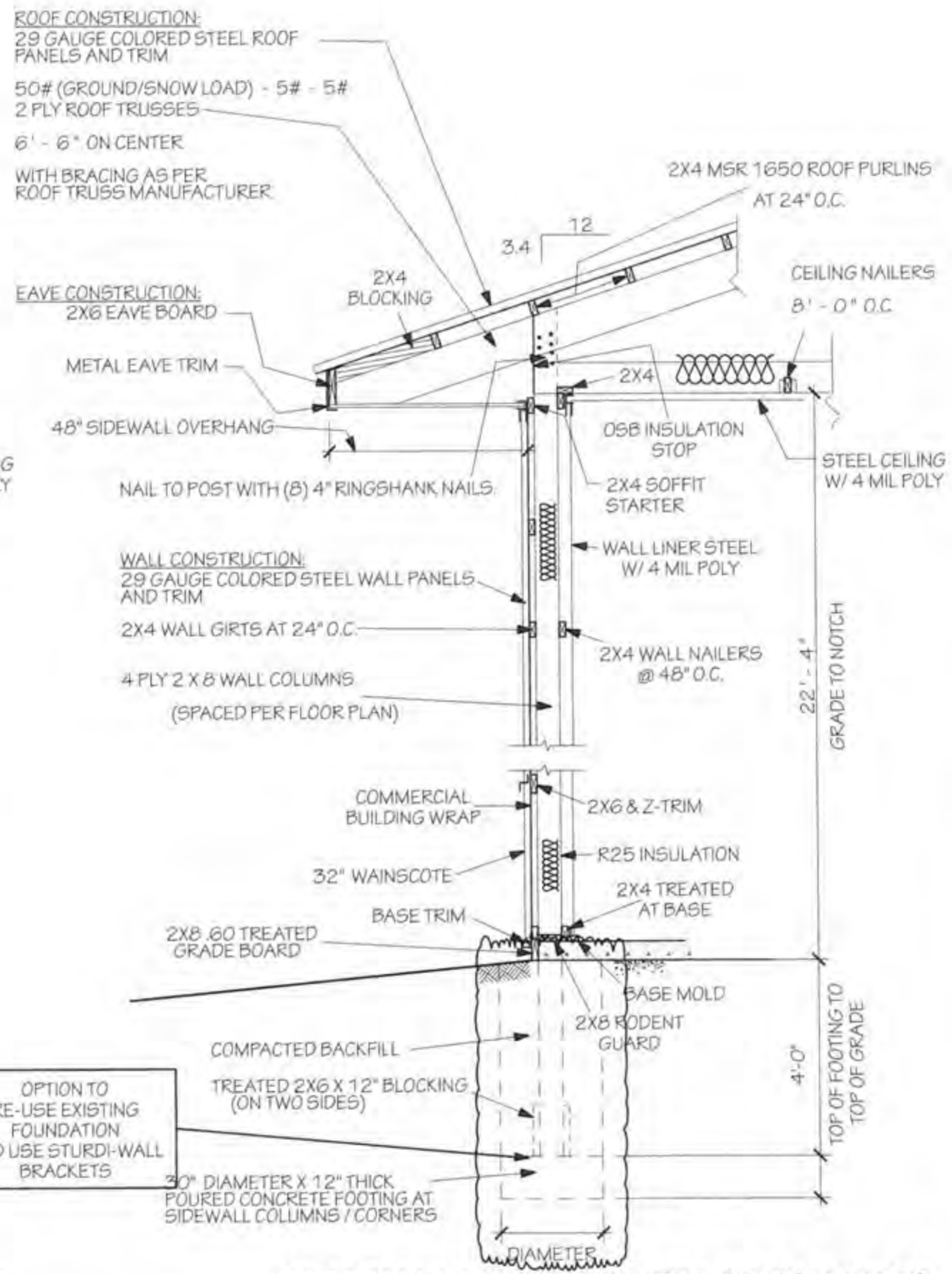
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SIDEWALL 1 SECTION (80' WIDE)



SIDEWALL 1 SECTION (88' WIDE)

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DATE: 5/5/2017
SHEET: 5 OF 6

CURFMAN TRUCKING

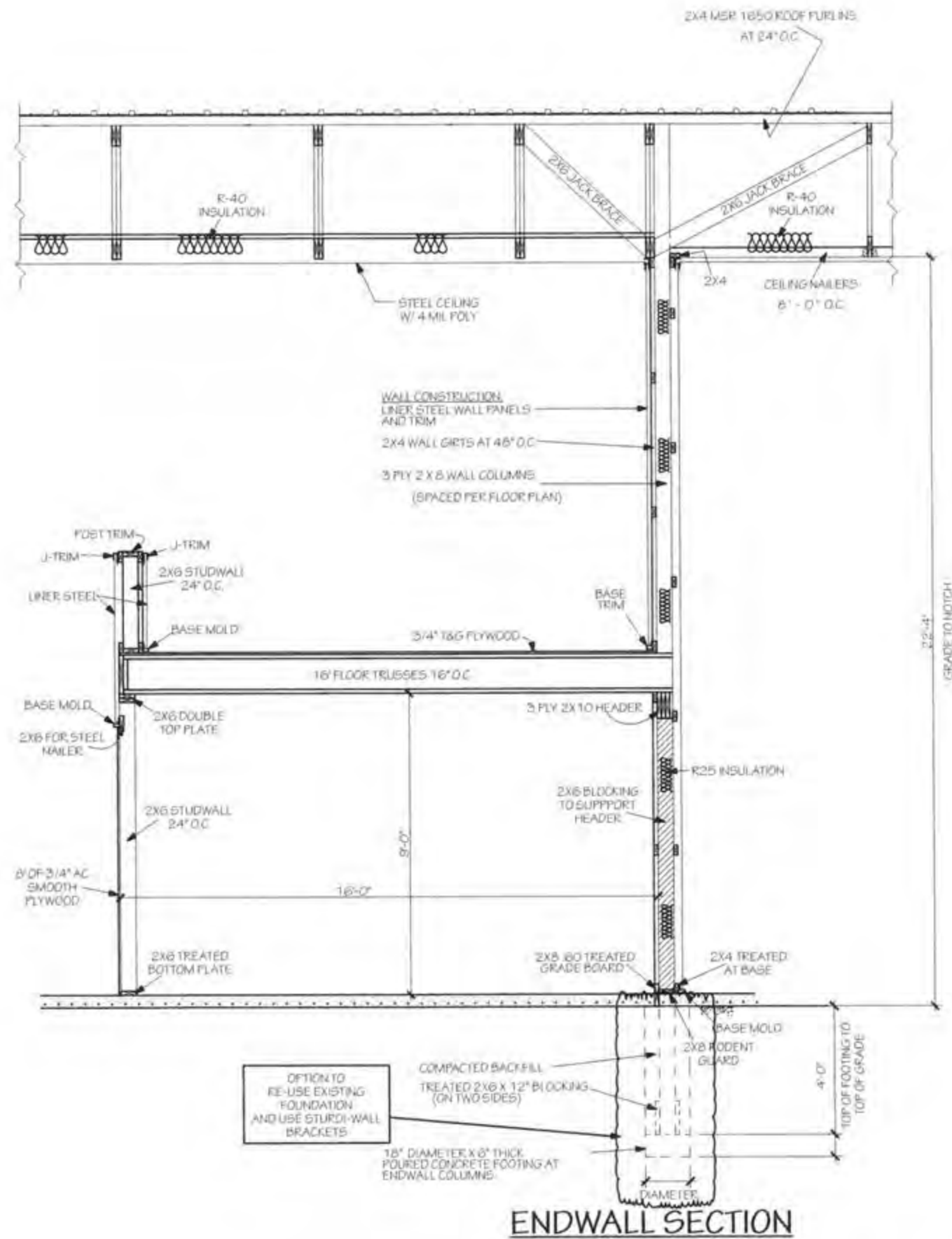
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DRAWN BY: JEREMY B.
DATE: 5/5/2017
SHEET: 6 OF 6

CURFMAN TRUCKING

PROJECT NAME:
PROJECT NUMBER: (17-057)

BUILDING DESCRIPTION:
80'-0" X 94'-0" X 22'-0" &
88'-0" X 26'-0" X 22'-0"

DESIGN NUMBER: P17039

592 Industrial Drive
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Winnetka, Minnesota 55395
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Contractor License Number BC171076



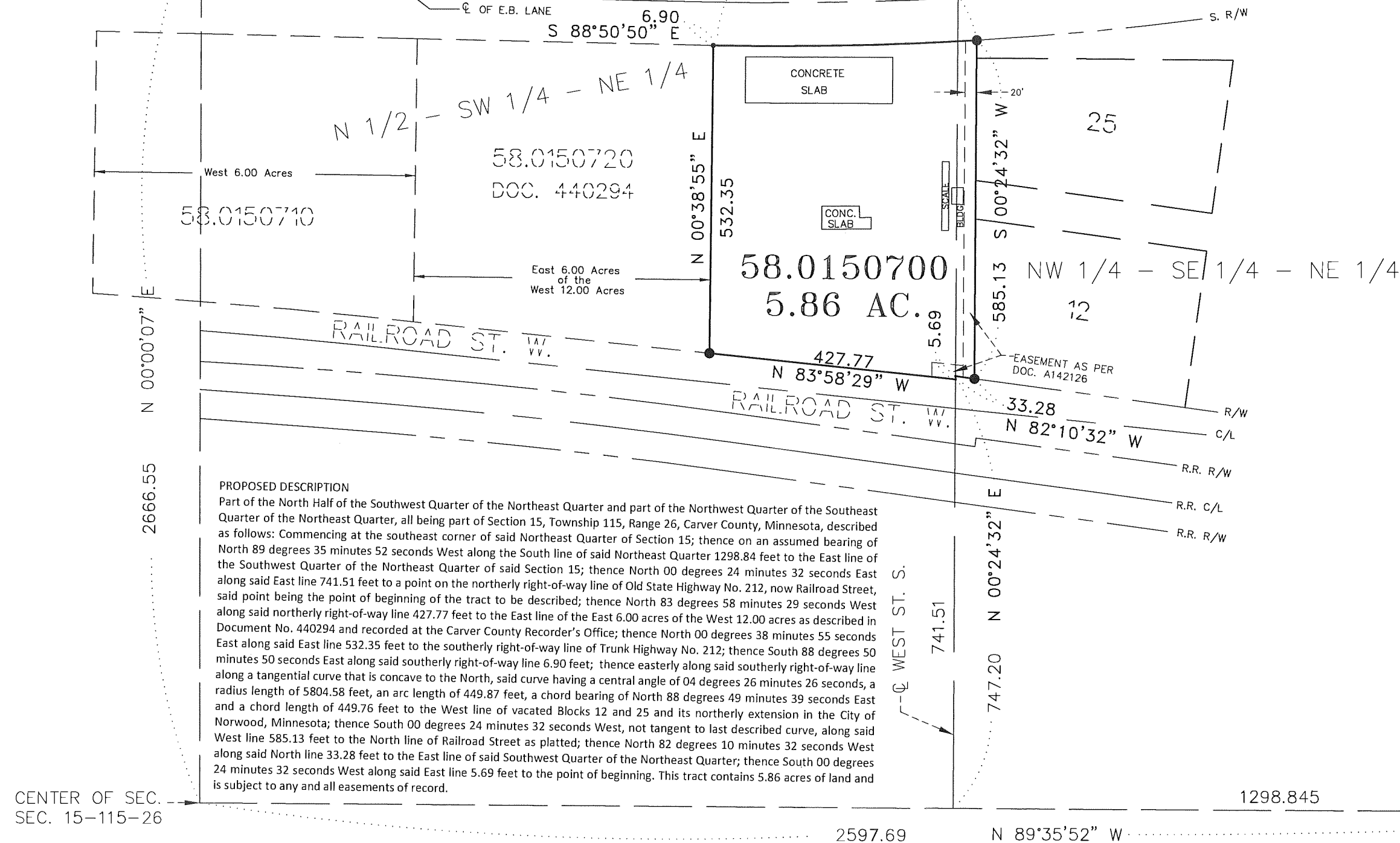
N 1/4 COR
SEC. 15-115-26

TRUNK HWY. 212

L=449.87
R=5804.58
 $\Delta=04^{\circ}26'26''$
CL=449.76
CB=N 88°49'39" E

CERTIFICATE OF SURVEY

ORIENTATION OF THIS BEARING SYSTEM
IS BASED ON THE CARVER COUNTY
COORDINATE SYSTEM (NAD 83).



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the state of Minnesota.

AVERY GROCHOW, LS

DATE 5/9/17

REGISTRATION NO. 15475

LAND SURVEY FOR

STEVE CURFMAN

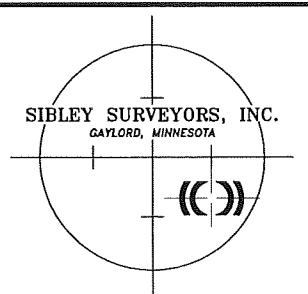
PART OF N 1/2-SW 1/4-NE 1/4 & NW 1/4-SE 1/4
-NE 1/4, SEC. 15, T115, R26 YOUNG AMERICA TWP.
CARVER COUNTY, MINNESOTA

- ⊙ DENOTES CARVER CO. MONUMENT
 - DENOTES IRON PIPE FOUND
 - DENOTES IRON PIPE SET BY RLS NO. 15475
- SCALE: 1 INCH = 200 FEET

May, 2017

FILE NO. 2560

SIBLEY SURVEYORS, INC.
GAYLORD, MINNESOTA



PROPOSED DESCRIPTION

Part of the North Half of the Southwest Quarter of the Northeast Quarter and part of the Northwest Quarter of the Southeast Quarter of the Northeast Quarter, all being part of Section 15, Township 115, Range 26, Carver County, Minnesota, described as follows: Commencing at the southeast corner of said Northeast Quarter of Section 15; thence on an assumed bearing of North 89 degrees 35 minutes 52 seconds West along the South line of said Northeast Quarter 1298.84 feet to the East line of the Southwest Quarter of the Northeast Quarter of said Section 15; thence North 00 degrees 24 minutes 32 seconds East along said East line 741.51 feet to a point on the northerly right-of-way line of Old State Highway No. 212, now Railroad Street, said point being the point of beginning of the tract to be described; thence North 83 degrees 58 minutes 29 seconds West along said northerly right-of-way line 427.77 feet to the East line of the East 6.00 acres of the West 12.00 acres as described in Document No. 440294 and recorded at the Carver County Recorder's Office; thence North 00 degrees 38 minutes 55 seconds East along said East line 532.35 feet to the southerly right-of-way line of Trunk Highway No. 212; thence South 88 degrees 50 minutes 50 seconds East along said southerly right-of-way line 6.90 feet; thence easterly along said southerly right-of-way line along a tangential curve that is concave to the North, said curve having a central angle of 04 degrees 26 minutes 26 seconds, a radius length of 5804.58 feet, an arc length of 449.87 feet, a chord bearing of North 88 degrees 49 minutes 39 seconds East and a chord length of 449.76 feet to the West line of vacated Blocks 12 and 25 and its northerly extension in the City of Norwood, Minnesota; thence South 00 degrees 24 minutes 32 seconds West, not tangent to last described curve, along said West line 585.13 feet to the North line of Railroad Street as platted; thence North 82 degrees 10 minutes 32 seconds West along said North line 33.28 feet to the East line of said Southwest Quarter of the Northeast Quarter; thence South 00 degrees 24 minutes 32 seconds West along said East line 5.69 feet to the point of beginning. This tract contains 5.86 acres of land and is subject to any and all easements of record.



Carver County GIS, 2014 Pictometry International

This map was created using Carver County's Geographic Information Systems (GIS), it is a compilation of information and data from various City, County, State, and Federal offices. This map is not a surveyed or legally recorded map and is intended to be used as a reference. Carver County is not responsible for any inaccuracies contained herein.

Map Date: 5/21/2017

Building Permit Report - May

PERMIT #	NAME	ADDRESS	PURPOSE	DATE	PERMIT FEE	PLAN		
						CHECK FEE	SURCHARGE	VALUE
2017001	Chad Stewart	402 2nd Ave NE	Reside	1/3/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017002	Liz Jaunick	714 Elm St W	Water Heater	1/3/2017	\$15.00	\$0.00	\$1.00	\$0.00
2017003	Nick Rogosienski	206 2nd St SW	Rewindow	1/3/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017004	Lenny Hilgers	124 Hilltop Circle	Basement Finish	1/11/2017	\$336.45	\$179.69	\$8.50	\$15,000.00
2017005	Josh Lindgren	211 4th St SW	Water Heater	1/23/2017	\$15.00	\$0.00	\$1.00	\$0.00
2017006	Josh Lindgren	211 4th St SW	Replace Furnace	1/27/2017	\$60.00	\$0.00	\$1.00	\$0.00
2017007	Ross Schneider	410 Emma St	Plumbing	2/3/2017	\$60.00	\$0.00	\$1.00	\$0.00
2017008	Ross Schneider	410 Emma St	Remodel Bath	2/7/2017	\$199.45	\$129.64	\$5.00	\$9,800.00
2017009	Donna Mack	550 Shoreview Lane	Fireplace	2/7/2017	\$60.00	\$0.00	\$1.00	\$0.00
2017010	Resto Espresso	310 Highway 212 W	Plumbing	2/17/2017	\$107.05	\$26.76	\$2.00	\$3,600.00
2017011	Mylen Cardinal	1115 Preserve Blvd	Basement Finish	2/10/2017	\$336.45	\$179.69	\$8.50	\$15,000.00
2017012	Josh Lindgren	211 4th St SW	Rewindow	2/10/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017013	Carver County CDA	110 Oak Street	Reside	2/22/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017014	Kris Gustin	819 Elm St W	Rewindow	2/22/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017015	Faxon Rd Investors	508 Merger St	Plumbing	2/23/2017	\$184.05	\$119.63	\$4.50	\$9,000.00
2017016	Faxon Rd Investors	508 Merger St	HVAC	2/24/2017	\$508.22	\$330.34	\$16.00	\$32,000.00
2017017	Faxon Rd Investors	508 Merger St	Remodel	2/28/2017	\$597.10	\$388.12	\$20.00	\$40,000.00
2017018	Waconia Dodge	115 Main St E	Plumbing	3/1/2017	\$91.65	\$59.57	\$1.50	\$3,000.00
2017019	Randy Rager	825 Martingale Dr	Water Heater	3/2/2017	\$15.00	\$0.00	\$1.00	\$0.00
2017020	Loomis Homes	762 Preserve Blvd	Water Softener	3/3/2017	\$15.00	\$0.00	\$1.00	\$0.00
2017021	Last Call	118 Main St E	Repairs	3/8/2017	\$122.45	\$79.59	\$2.50	\$5,000.00
2017022	Faxon Rd Investors	508 Merger St	Fire Sprinkler	3/24/2017	\$777.50	\$505.38	\$29.50	\$58,500.00
2017023	Waconia Dodge	115 Main St E	Remodel	3/21/2017	\$107.05	\$69.58	\$2.00	\$4,000.00
2017024	Loomis Homes	1045 Fox Crossing	New Home	3/27/2017	\$17,092.30	\$1,219.09	\$115.50	\$227,000.00
2017025	Robin Jacobs	218 4th St SW	Water Heater	3/17/2017	\$15.00	\$0.00	\$1.00	\$0.00
2017026	St. Johns Church	308 5th Ave NE	Gazebo	3/22/2017	\$245.65	\$159.67	\$6.50	\$12,544.00
2017027	Loomis Homes	875 Lakewood Tr	New Home	3/24/2017	\$17,179.70	\$1,283.15	\$123.00	\$242,800.00
2017028	Ron Heiland	114 1st St NE	Reside/Rewindow	3/23/2017	\$110.00	\$0.00	\$1.00	\$0.00
2017029	David Moore	18 Main St E	Reside	3/24/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017030	tom Kaeter	308 2nd St SW	Rewindow	3/27/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017031	Kevin Stahn	211 4th St SW	Fence	3/28/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017032	City of NYA	102 Main St E	Sign	3/29/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017033	Adam Franck	410 Colonial Circle	Reside	3/30/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017034	Pryce Wigginton	411 Devonshire Dr	Fence	3/30/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017035	Nate Haaskins	715 Elm St W	Reroof	4/3/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017036	Jim Brazil	424 Devonshire Dr	Replace Furnace	4/3/2017	\$60.00	\$0.00	\$1.00	\$0.00
2017037	Jason Hoeft	103 2nd St SE	Egress Window	4/7/2017	\$214.10	\$69.58	\$2.00	\$3,375.00
2017038	Richard Stolz	308 1st ST NE	Garage Heater	4/6/2017	\$60.00	\$0.00	\$1.00	\$0.00
2017039	Last Call	118 Main St E	Plumbing	4/17/2017	\$152.50	\$19.06	\$1.00	\$2,000.00
2017040	James Brazil	424 Devonshire Dr	Replace Furnace	4/7/2017	\$60.00	\$0.00	\$1.00	\$0.00
2017041	Jon Werner	206 1st St NE	Restart 2014114	4/18/2017	\$300.00	\$0.00	\$0.00	\$0.00
2017042	Loomis Homes	1025 Fox Crossing	New Home	4/21/2017	\$16,923.66	\$1,102.97	\$101.00	\$198,000.00
2017043	David Rolf	411 5th St Ct	Deck	4/20/2017	\$122.45	\$79.59	\$2.50	\$4,800.00

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2017044	David Rolf	411 5th St Ct	Stone	4/20/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017045	Ben Kroells	413 Adams Dr	Foundation Repair	5/26/2017	\$107.05	\$69.58	\$2.00	\$4,200.00
2017046	Dana Muehring	231 Hazel St	Water Heater	4/24/2017	\$15.00	\$0.00	\$1.00	\$0.00
2017047	Xtreme Properties	211 Railroad St W	New Construction	4/26/2017	\$1,265.68	\$822.69	\$64.00	\$128,000.00
2017048	Dorothy Wall	316 Railroad St W	Reroof	4/27/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017049	Shari Kutzke	301 Oak Drive	Rewindow	5/2/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017050	All Saints Church	511 Merger St	Partial Reroof	5/3/2017	\$168.65	\$0.00	\$4.00	\$8,000.00
2017051	Mel Hanson	114 Oak St S	Reroof	5/5/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017052	Leon Lenz	447 Park Circle	Reroof	5/5/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017053	Hoang Nguyen	210 Railroad St W	Sign	5/11/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017054	City of NYA	21 Main St E	New Construction		\$1,179.44	\$766.64	\$57.00	\$113,732.00
2017055	City of NYA	21 Main St E	Plumbing	5/9/2017	\$384.25	\$249.76	\$11.00	\$22,000.00
2017056	Ron Swanson	885 Lakewood Tr	Deck	5/9/2017	\$168.65	\$109.62	\$4.00	\$7,680.00
2017057	Romie Wenisch	819 Martingale Dr	Replace Decking	5/12/2017	\$76.25	\$49.56	\$1.00	\$2,000.00
2017058	Dan Corey	119 Oak St S	Egress Window	5/22/2017	\$76.25	\$49.56	\$1.00	\$2,000.00
2017059	Brian Clark	617 Casper Circle	Fence	5/9/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017060	Randy Beneke	721 Elm St W	Windows	5/12/2017	\$62.81	\$40.83	\$1.00	\$1,600.00
2017061	Noble Springer	226 Lake St W	AC	5/12/2017	\$60.00	\$0.00	\$1.00	\$0.00
2017062	Romie Wenisch	819 Martingale Dr	Rewindow	5/12/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017063	Anthony Meuleners	115 4th St SW	Shed		\$153.25	\$99.61	\$3.50	\$6,720.00
2017064	City of NYA	21 Main St E	Mechanical		\$49.37	\$32.09	\$1.00	\$1,200.00
2017065	NYA Mall	640 RR Dr #200	Interior Walls	5/18/2017	\$322.65	\$209.72	\$9.00	\$17,500.00
2017066	Kristine Neumann	219 West Court	Water Heater	5/19/2017	\$15.00	\$0.00	\$1.00	\$0.00
2017067	Joe Laumann	114 Hill St W	Reside	5/19/2017	\$55.00	\$0.00	\$1.00	\$0.00
2017068	Myrtle Lueck	215 Hill St W	Water Heater	5/31/2017	\$15.00	\$0.00	\$1.00	\$0.00
2017069	Harpe Homes	129 Lake St W	New Home				\$174.50	\$344,210.00